



## **OPEN MEETING**

### **REGULAR MEETING OF THIRD LAGUNA HILLS MUTUAL ARCHITECTURAL CONTROL AND STANDARDS COMMITTEE\***

**Monday, July 08, 2024 – 1:30 p.m.  
Laguna Woods Village Board Room/Virtual Meeting  
24351 El Toro Road, Laguna Woods, California**

Laguna Woods Village owners/residents are welcome to participate in all open committee meetings and submit comments or questions virtually using one of the following options:

1. Join the committee meeting via a Zoom link at: <https://us06web.zoom.us/j/93156707417> or by calling 669-900-6833 Webinar ID:93156707417.
2. Via email to [meeting@vmsinc.org](mailto:meeting@vmsinc.org) any time before the meeting is scheduled to begin or during the meeting. Please use the name of the committee in the subject line of the email. Your name and unit number must be included.

### **NOTICE AND AGENDA**

*This Meeting May Be Recorded*

1. Call Meeting to Order
2. Approval of the Agenda
3. Approval of the Meeting Report for June 10, 2024
4. Remarks of the Chair
5. Member Comments - *(Items Not on the Agenda)*
6. Response to Member Comments
7. Department Head Update
8. Consent Calendar: *All matters listed under the Consent Calendar are considered routine and will be enacted by the Committee by one motion. In the event that an item is removed from the Consent Calendar by members of the Committee, such item(s) shall be the subject of further discussion and action by the Committee.*
  - a. Over-The-Counter Variances – None
9. Variance Requests
  - a. 5367-C Variance to Replace Window with Sliding Glass Door and Paver Patio on Common Area

10. Items for Discussion and Consideration
  - a. Revision to Standard 18: Gutters and Downspouts
  - b. Revision to Standard 34: Windows & Window Attachments
  - c. Your Mutual Resale Fees At Work
11. Items for Future Agendas
  - a. Revision to Standard 11A: Flooring for Second and Third Floor Manors & the Elimination of the Third Laguna Hills Mutual Interior Hard-Surface Flooring Complaint Rules
  - b. Revision to Standard 22: Patio and Balcony Covers; Aluminum and Vinyl
  - c. Revision to Standard 29: Solariums
  - d. Revision to Standard: 37: Patio and Balcony Awnings & Covers
  - e. Revision to Standard 38: Patio Enclosures
  - f. Revision to Standard 39: Balcony Enclosures
  - g. Revision to Standard 41A: Solar Panels, 2 Story Buildings
  - h. Enact Standard 41C: Solar Panels, Carports and Patio Covers
12. Committee Member Comments
13. Date of Next Meeting: Monday, August 12, 2024 at **9:30 a.m.**
14. Adjournment

\*A quorum of the Third Board or more may also be present at the meeting.

Jim Cook, Chair  
Alan Grimshaw, Manor Alterations Manager  
Telephone: 949-597-4616



## **OPEN MEETING**

### **REPORT OF THE REGULAR MEETING OF THIRD LAGUNA HILLS MUTUAL ARCHITECTURAL CONTROL AND STANDARDS COMMITTEE**

**Monday, June 10, 2024 – 1:30 p.m.  
Laguna Woods Village Board Room/Virtual Meeting  
24351 El Toro Road, Laguna Woods, California**

#### **REPORT**

**COMMITTEE MEMBERS PRESENT:** Jim Cook – Chair, Andy Ginocchio (Alternate for Reza Karimi), Nathaniel Ira Lewis, Brad Rinehart, David Veeneman, Advisors: Mike Butler, Lisa Mills

**COMMITTEE MEMBERS ABSENT:** Reza Karimi (Excused), Mike Plean (Advisor-Excused)

**OTHERS PRESENT:** S.K. Park

**STAFF PRESENT:** Bart Mejia – Maintenance & Construction Assistant Director (In the Audience), Alan Grimshaw – Manor Alterations Manager, Gavin Fogg – Manor Alterations Supervisor, David Rudge – Inspector II, Josh Monroy – Manor Alterations Coordinator

#### **1. Call Meeting to Order**

Chair Cook called the meeting to order at 1:30 p.m.

#### **2. Approval of the Agenda**

The agenda was amended to include items 10b. Revision to Standard 41: Solar Panels, 1 Story Buildings and 10c. Revision to Standard 41A: Solar Panels, 2 Story Buildings as action items. 10f. was also added as a discussion, Variance Neighbor Awareness Notice.

Chair Cook asked for approval of the amended agenda.

Director Veeneman made a motion to approve the amended agenda. Director Ginocchio seconded.

Hearing no objection, the agenda was approved as amended.

**3. Approval of the Meeting Report for May 13, 2024**

Chair Cook asked for approval of the meeting report.

Director Veeneman made a motion to approve the meeting report. Director Lewis seconded.

Hearing no objection, the meeting report was approved by unanimous consent as written.

**4. Remarks of the Chair**

None.

**5. Member Comments - (Items Not on the Agenda)**

None.

**6. Response to Member Comments**

None.

**7. Department Head Update**

None.

**8. Consent Calendar:** All matters listed under the Consent Calendar are considered routine and will be enacted by the Committee by one motion. In the event that an item is removed from the Consent Calendar by members of the Committee, such item(s) shall be the subject of further discussion and action by the Committee.

- a. **Over-The-Counter Variances** – Hearing no objection, the Over-The-Counter Variance report was approved by a vote of 4/0/1 (Chair Cook, recused).

2173-A: Request to Install Pavers on Common Area for Golf Car

- Two-member comments were read.

3282-B: Request to Install Fence to Enclose Common Area at Entry

**9. Variance Requests**

- a. 2269-P: Variance to Install Acorn Stairlift in Common Area

Chair Cook asked for approval of the variance.

Director Lewis made a motion to approve the variance. Director Veeneman seconded.

Hearing no objection, the variance to install an Acorn stairlift in Common Area was approved by

unanimous consent.

#### **10. Items for Discussion and Consideration**

a. Revision to Standard 6: Block Walls

Chair Cook asked for approval of the revised standard.

Director Lewis made a motion to approve the revised standard. Director Rinehart seconded.

Hearing no objection, the motion to recommend the revised Standard 6: Block Walls was approved by unanimous consent.

b. Revision to Standard 41: Solar Panels, 1 Story Buildings

Chair Cook asked for approval of the revised standard.

Director Veeneman made a motion to approve the revised standard. Director Ginocchio seconded.

Hearing no objection, the motion to recommend the revised Standard 41: Solar Panels, 1 Story Buildings was approved by a vote of 4/0/1 (Director Lewis, abstained).

c. Revision to Standard 41A: Solar Panels, 2 Story Buildings

Chair Cook asked for approval of the revised standard.

Director Rinehart made a motion to approve the revised standard. Director Veeneman seconded.

Hearing no objection, the motion to recommend the revised Standard 41A: Solar Panels, 2 Story Buildings was approved by a vote of 4/0/1 (Director Lewis, abstained).

e. Discussion Ways to Get Information on Your Manor

The committee suggested that Resident Services email maintenance related information going forward. Manor Alterations will forward that request.

f. Discussion Variance Neighbor Awareness Notice

The committee suggested limiting the Neighbor Awareness Notice to manors within the same mutual, particularly adjoining properties.

#### **11. Items for Future Agendas**

- Revision to Standard 11A: Flooring for Second and Third Floor Manors & the Elimination of the Third Laguna Hills Mutual Interior Hard-Surface Flooring Complaint Rules
- Revision to Standard 18: Gutters and Downspouts

Third Architectural Control and Standards Committee  
Report of the Regular Open Meeting  
May 13, 2024  
Page 4 of 4

- Revision to Standard 22: Patio and Balcony Covers; Aluminum and Vinyl
- Revision to Standard 34: Windows & Window Attachments
- Revision to Standard 37: Patio and Balcony Awnings & Covers
- Enact Standard 41C: Solar Panels, Carports and Patio Covers
- Revision to Variance Neighbor Awareness Notice

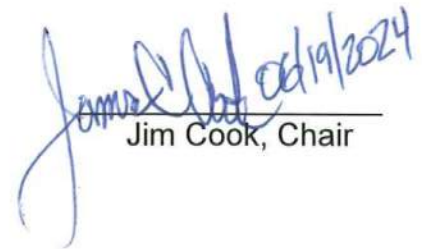
**12. Committee Member Comments**

- Chair Cook informed members to expect more information about the resale process via flyers, and *The Village Breeze*.

**13. Date of Next Meeting: Monday, July 08, 2024 at 1:30 p.m.**

**14. Recess**

The meeting was recessed at 2:35 p.m.



Jim Cook, Chair

Jim Cook, Chair  
Alan Grimshaw, Manor Alterations Manager  
Telephone: 949-597-4616

# Third ACSC – Monday, July 8, 2024

## Variance Requests

Agenda Item #9	Manor Address	Description of Request	Summary of Request and Staff Recommendation (*)
<b>A</b>	5367-C	Replace Window with Sliding Glass Door and Paver Patio on Common Area	<p><b><u>GENERAL NOTES:</u></b></p> <ul style="list-style-type: none"> <li>• 5367-C is one of three manors.</li> <li>• Remove original 8’x8’ patio wall and slab and replace with pavers 6’x12’ and 11’-9” x 8’ on Common Area</li> <li>• Remove window and replace with sliding glass door in original opening</li> <li>• EURL required for use of Common Area</li> </ul> <p><b>Staff Recommendation: Approve</b></p>

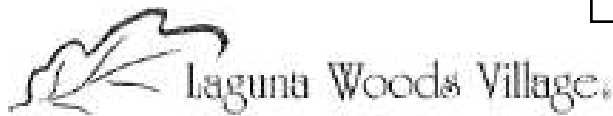
(\*) The following attachments are included for your review and reference.

1. Variance Request Form
2. Photos
3. Location Map
4. Plan(s)
5. Draft Conditions of Approval
6. Draft Resolution

This Page Left Intentionally Blank



**Manor 5367-C**



MANOR # \_\_\_\_\_

☐ ULWM

☐ TLHM

## Variance Request Form

SA \_\_\_\_\_

Model:	Plan: <u>LAPRANCESSA</u>	Date: <u>8-18-23</u>
Member Name:	Signature: _____	
Phone:	E-mail: _____	
Contractor Name/Co:	Phone:	E-mail:
<u>CORRAL BUILDERS</u>	<u>949 415-9056</u>	<u>JOE@CORRALBUILDERS.COM</u>
Owner Mailing Address: <u>5367 Algarrobo Unit C Laguna Woods, CA 92653</u>		
<small>(to be used for official correspondence)</small>		

### Description of Proposed Variance Request ONLY:

Replace window with sliding glass door and paver patio on common area

### Dimensions of Proposed Variance Alterations ONLY:

22 FEET X 13 FEET



### FOR OFFICE USE ONLY

RECEIVED BY: \_\_\_\_\_ DATE RECEIVED: \_\_\_\_\_ Check# \_\_\_\_\_ BY: \_\_\_\_\_

Alteration Variance Request	Complete Submittal Cut Off Date:
Check Items Received:	Meetings Scheduled:
<input type="checkbox"/> Drawing of Existing Floor Plan	Third AC&S Committee (TACSC): _____
<input type="checkbox"/> Drawing of Proposed Variance	United M&C Committee: _____
<input type="checkbox"/> Dimensions of Proposed Variance	Board Meeting: _____
<input type="checkbox"/> Before and After Pictures	<input type="checkbox"/> Denied <input type="checkbox"/> Approved
<input type="checkbox"/> Other: _____	<input type="checkbox"/> Tabled <input type="checkbox"/> Other _____

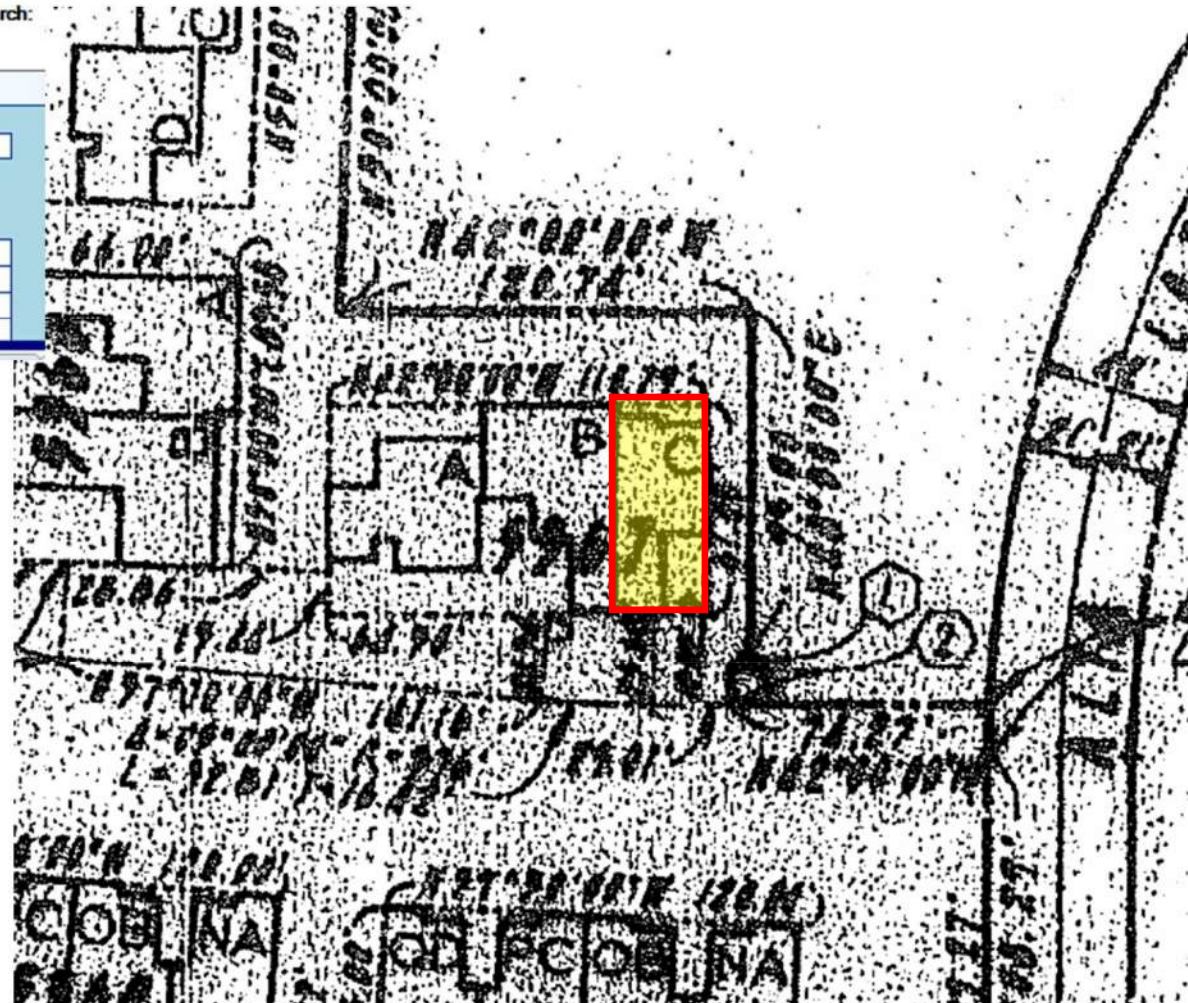
# ATTACHMENT 2 PHOTOS

## 5367-C Tract 7887 Lot 3

Property: **5367-C La Princesa on Algarrobo**   Event Search:

Facility shortcut loaded successfully.

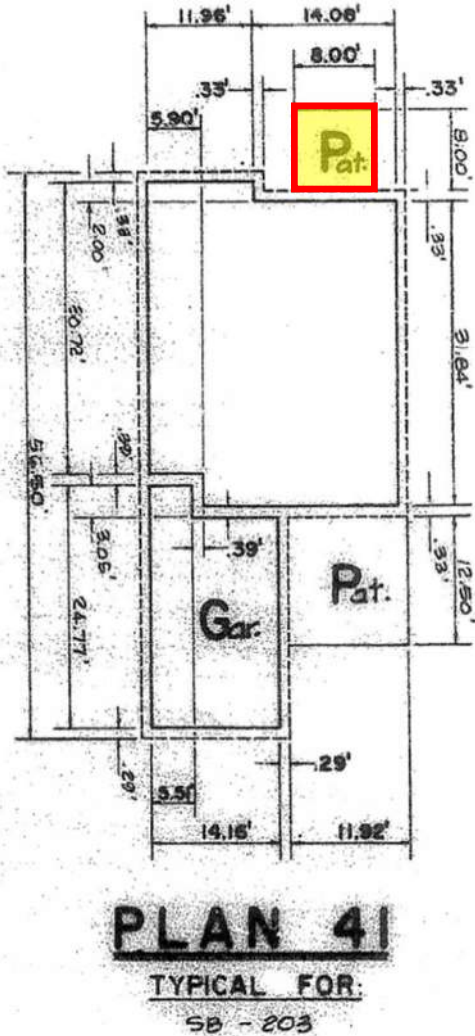
Resident	PROP	Component	Community Browser
Manor	5367-C	Street	Algarrobo
Model	La Princesa		
Plan	SB203C		
Bedrooms	1	Lot	3
Bathrooms	1	Tract	7887
Basins	1	Bath tubs	1
Org Skylight	No	Sliding Glass Drs	2
Org Fau	Yes	Cabel TV Outlets	2
Interior Doors	2	Exhaust Fans	
		Phase	3
		County No.	24061
		Shows	0
		Org Fireplace	Yes
		Garage Units	1
		Windows	2
		Map	B4
		Sq Ft.	830
		Carport	
		Atrium	No
		Den	No
		Org W/D	Yes
		Garage	Garage





ATTACHMENT 2  
PHOTOS

## 5367-C Existing Exclusive Use Common Area 8'-0" x 8'-0" Patio





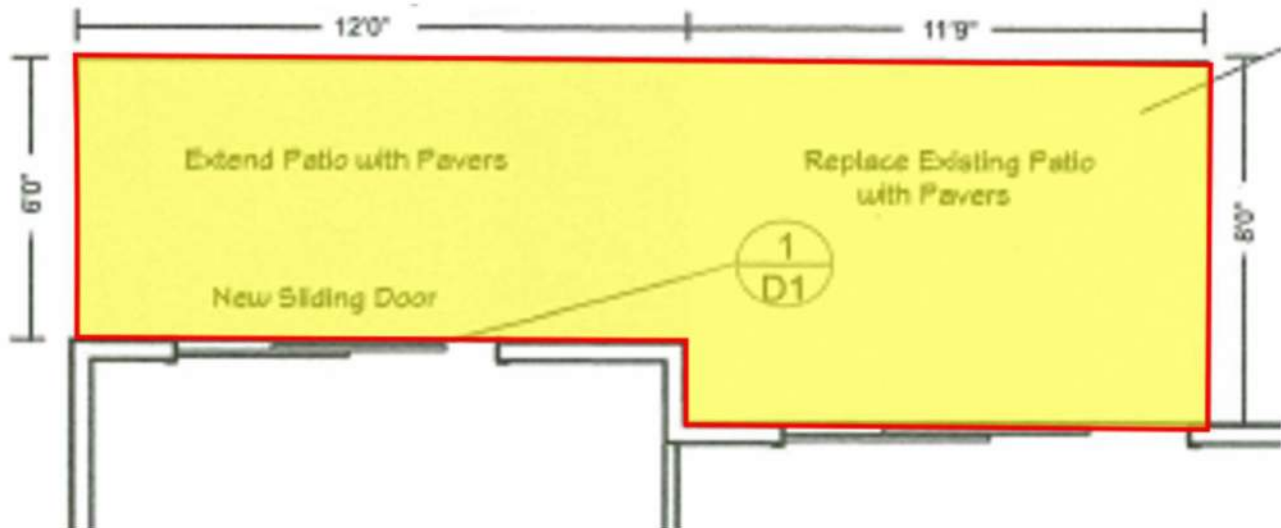
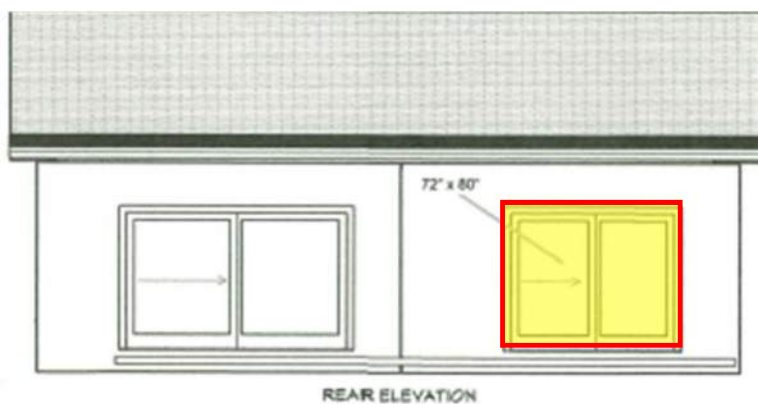
ATTACHMENT 2  
PHOTOS

## 5367-C Proposed New Sliding Glass Door and Pavers



ATTACHMENT 2  
PHOTOS

5367-C Proposed New 6'-0" x 6'-8" Sliding Glass Door and  
Pavers 12'-0"x6'-0" and 11'-9"x8'-0"





ATTACHMENT 3  
AERIAL & LOCATION  
MAP

5367-C



ATTACHMENT 3  
AERIAL & LOCATION  
MAP





## SHEET INDEX

AGENT: JAMES STEVENS  
(949) 364-0876  
26352 MIRAR VISTA DRIVE  
MISSION VIEJO, 92692

### GENERAL NOTES, CONTINUED

28. PAINTING REQUIREMENTS FOR ALL WOOD EXPOSED TO ENVIRONMENT SHALL BE PROTECTED ON ALL SIX SIDES IN THE FOLLOWING MANNER BEFORE FASTENING IN PLACE:
  - a. CAULK ALL FLASHING AND JOINTS FOR GAPS 1/8" OR LESS AROUND DOORS AND WINDOWS
  - b. LIGHTLY SAND ROUGH OR FUZZED AREAS BY HAND
  - c. APPLY ONE COAT PRIMER USING BEST METHOD FOR APPLICATION, FINISH BY BRUSH
  - d. APPLY TWO COATS FINISH PAINT USING BEST METHOD, FINISH BY BRUSH
  - e. ENSURE FULL COVERGAE AND UNIFORM COLOR BY APPLYING ADDITIONAL COATS AS NECESSARY
29. STOP PATIO DRAIN AND OUTLET WITH ABS PLASTIC PLUGS
30. EMERGENCY ESCAPE AND RESCUE: BASEMENTS, HABITABLE HABITABLE ATTICS AND EVERY SLEEPING ROOM SHALL HAVE A DOOR DIRECTLY TO THE EXTERIOR OR A WINDOW THAT WILL PROVIDE A CLEAR SPACE OPENING OF AT LEAST 5.7 SQ FT IN THE OPEN POSITION (5 SQ FT AT GRADE FLOOR OPENINGS), AND A MINIMUM CLEAR OPENING WIDTH OF 20 INCHES AND CLEAR OPENING HEIGHT OF 24 INCHES AND THE SILL HEIGHT SHALL BE MAXIMUM 44" ABOVE THE FLOOR. THE REQUIRED OPENINGS SHALL OPEN DIRECTLY INTO A PUBLIC WAY, OR TO A YARD OR COURT THAT LEADS TO A PUBLIC WAY. [R310 CRC]
31. THIS PROJECT SHALL COMPLY WITH TITLE 24 AND 2022 CALIFORNIA RESIDENTIAL CODE (CRC), CALIFORNIA MECHANICAL CODE (CMC), CALIFORNIA PLUMBING CODE (CPC), CALIFORNIA ELECTRICAL CODE (CEC), CALIFORNIA GREEN BUILDING STANDARDS CODE (CGBSC), AND CALIFORNIA ENERGY CODE (CEnC). [R106.1.1 CRC]
32. ANY WORK REQUIRING MORE THAN \$500 WORTH OF MATERIAL AND LABOR COSTS SHALL BE PERFORMED BY A CALIFORNIA LICENSED CONTRACTOR FOR EACH TRADE AS REQUIRED.
33. THE WIDTH OF THE WINDOW SHALL BE THE SAME WIDTH OF THE PROPOSED SLIDING GLASS DOOR AND THE TOP OF THE WINDOW HEIGHT SHALL BE THE SAME AS THE TOP OF THE SLIDING GLASS DOOR HEIGHT.
34. SLIDING GLASS DOOR FRAME SHALL NE CONSTRUCTED OF WHITE VINYL ONLY.
35. WINDOW GLASS SHALL BE TEMPERED GLASS AND CLEAR AND COMPLIANT WITH UNIFORM BUILDING CODE.

1. CONTRACTOR SHALL LOCATE ALL APPLICABLE UTILITIES AND PROTECT THEM FROM DAMAGE AS REQUIRED DURING CONSTRUCTION
2. THE DISCHARGE OF POLLUTANTS TO ANY STORM DRAIN IS PROHIBITED. NO SOLID WASTE, PETROLEUM BYPRODUCTS, SOIL, PARTICULATE, CONSTRUCTION WASTE, MATERIALS, OR WASTEWATER GENERATED ON CONSTRUCTION SITE OR BY CONSTRUCTION ACTIVITIES SHALL BE PLACED, CONVEYED, OR DISCHARGED INTO THE STREET, GUTTER, OR STORM DRAIN SYSTEM.
3. SAFETY GLAZING OR TEMPERED GLASS IS REQUIRED IN HAZARDOUS LOCATIONS PER SECTION R30.
4. ANY NEW SMOKE OR CARBON DIOXIDE DETECTORS MUST HAVE A 10-YEAR BATTERY LIFE IN A SEALED UNIT.
5. CONTRACTORS GUARANTEES ALL WORK.
6. NO SUBSTITUTIONS SHALL BE MADE WITHOUT PRIOR APPROVAL OF PERMITS AND INSPECTION DEPARTMENT.
7. CONTRACTORS SHALL BE HELD RESPONSIBLE FOR KNOWLEDGE OF GENERAL INFORMATION NOT LISTED HERE AND ELSEWHERE IN THE DRAWINGS.
8. ALL PERMIT AND PLAN CHECK FEES SHALL BE TAKEN OUT BY THE RESIDENT OR CONTRACTOR.
9. INFORM THE PERMITS AND INSPECTIONS DEPARTMENT OF ANY DISCREPANCIES PRIOR TO STARTING WORK.
10. WHERE MANUFACTURERS' SPECIFICATIONS ARE CALLED FOR, THEY SHALL BE CONSIDERED PART OF DRAWINGS.
11. MEASUREMENTS HAVE PREFERENCE OVER SCALE.
12. CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS PRIOR TO AND DURING CONSTRUCTION.
13. ALL CONSTRUCTION SHALL COMPLY WITH CURRENT WBDG STATE, AND LOCAL CODES.
14. WHEN JOB COMPLETE, CONTRACTOR SHALL REMOVE ALL DEBRID FROM CONSTRUCTION SITE AND LEAVE AREA "BROOM CLEAN". CONTRACTOR WILL PROVIDE OWN TRASH BINS AND NOT USED MUTUAL TRASH BINS.
15. LIGHT AND VENTILATION REQUIREMENTS  
MASTER BEDROOM
  - a. LIGHT REQ'S 8% OF 14.4 SQ FT
  - b. VENTILATION REQ'D 4% OR 7.2 SQ FT

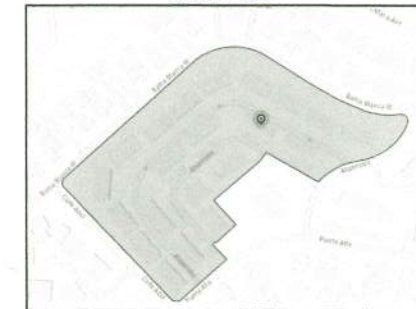
**FIRE NOTES:**

- F1. SMOKE ALARMS SHALL BE PROVIDED THROUGHOUT HABITABLE AREAS OF THE DWELLING UNIT IN EACH BEDROOM AND HALLWAY. SMOKE ALARMS SHALL BE HARD-WIRED AND INTERCONNECTED. [R335.5.2]
- F2. REQUIRED CARBON MONOXIDE ALARMS SHALL BE INSTALLED IN THE FOLLOWING LOCATIONS:  
OUTSIDE EACH SEPARATE SLEEPING OF A DWELLING UNIT INCLUDING BASEMENTS. IN EACH AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS. ON EVERY LEVEL BEDROOM AND/OR WHERE A FUEL-BURNING APPLIANCE IS LOCATED WITHIN THE BEDROOM OR ITS ATTACHED BATHROOM. [R315.3 CRC]
- F3. SMOKE ALARMS SHALL BE INSTALLED NOT LESS THAN 3 FEET HORIZONTALLY FROM THE DOOR OR OPENING OF A BATHROOM THAT CONTAINS A BATHTUB OR SHOWER UNLESS THIS WOULD PREVENT PLACEMENT OF A SMOKE ALARM REQUIRED BY [R314.3].

[illegible]

A.B.	ANCHOR BOLT	LSL	LAMINATED STRAND LUMBER
ARCH'L	ARCHITECTURAL DRAWINGS	LVL	LAMINATED VENEER LUMBER
BLDG	BUILDING	MFR	MANUFACTURED
BLK	BLOCK	N.T.S.	NOT TO SCALE
BLK'G	BLOCKING	o/	OVER
BM	BEAM	O.C.	ON CENTER
CANT'L	CANTILEVERED	OPT'L	OPTIONAL
C.L.	CENTER LINE	O.S.B.	ORIENTED STRAND BOARD
CLG	CEILING	PSL	PARALLEL STRAND LUMBER
CMU	CONCRETE MASONRY UNIT	PL	PLATE
COL	COLUMN	REQ'D	REQUIRED
CONT	CONTINUOUS	SHY'G	SHEATHING
DBL	DOUBLE	SH'T	SHEET
DTL	DETAIL	SIM	SIMILAR
(E)	EXISTING	STL	STEEL
EL	ELEVATION	SW	STRONG-WALL
EOR	ENGINEER OF RECORD	T.O.F.	TOP OF FOOTING
FND	FOUNDATION	T.O.W.	TOP OF WALL
FTG	FOOTING	T&B	TOP AND BOTTOM
GL	GLUE LAMINATED (BEAM)	TYP.	TYPICAL
HDR	HEADER	U.N.O.	UNLESS NOTED OTHERWISE
HORIZ.	HORIZONTAL	VERT.	VERTICAL
H.D.	HOLD DOWN	w/	WITH

VICINITY MAP

[illegible]

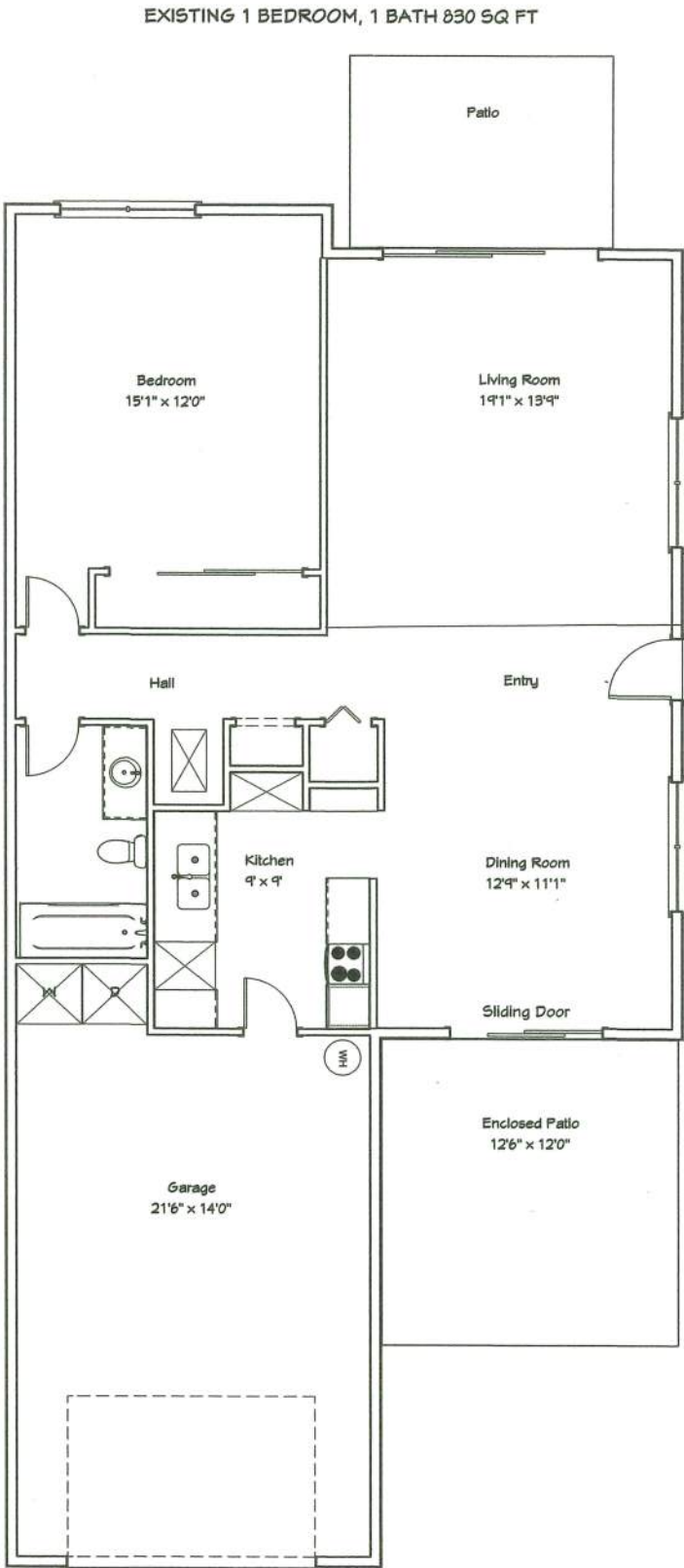
**RESIDENT**  
Tim Sheldon  
5367C Algarrobo  
Laguna Woods, CA 92637  
(949) 239-5616

**AGENT**  
**James Stevens**  
**26352 Mirar Vista Drive**  
**Mission Viejo, CA 92692**  
**(949) 364-0876**

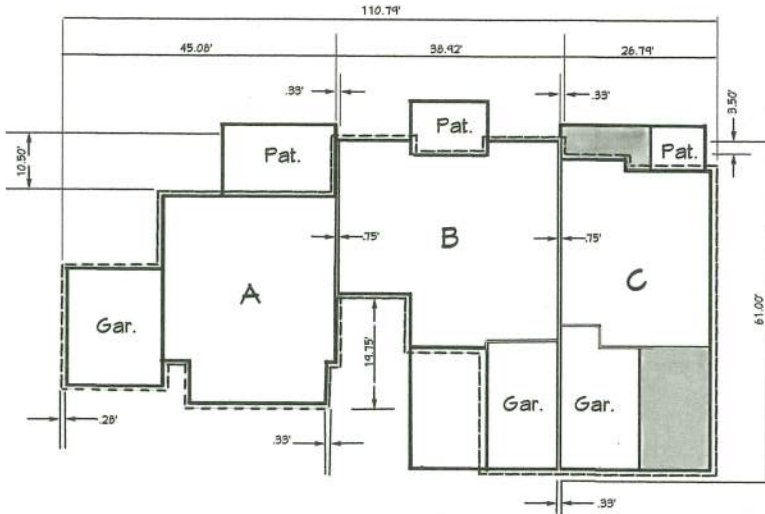
**BUILDER**  
Corral Builders  
2316 La Linda Place  
Newport Beach, CA 92660  
(949) 415-9056

# T1



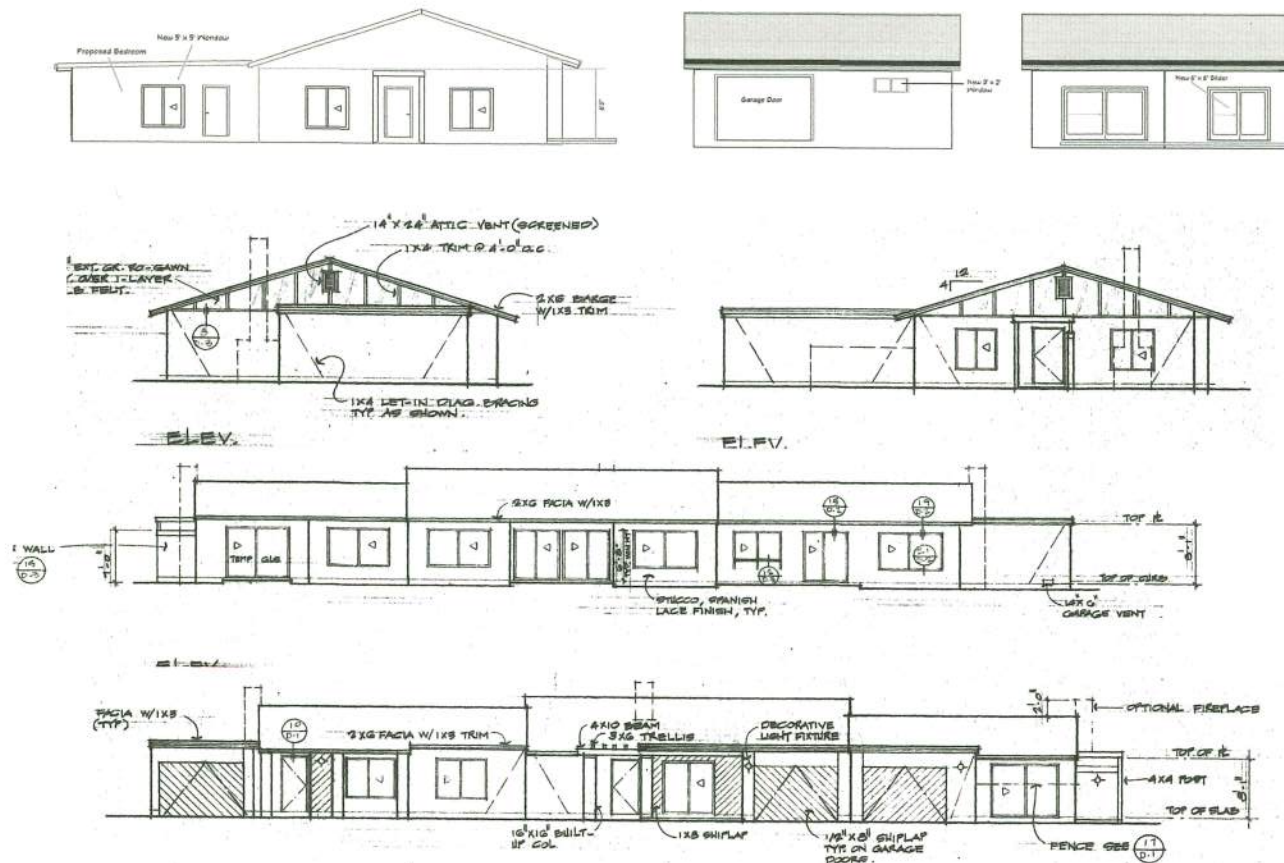


**5367 C Algarrobo**  
**Laguna Woods, CA 92637**




# BUILDING LAYOUT PLAN

NO SCALE



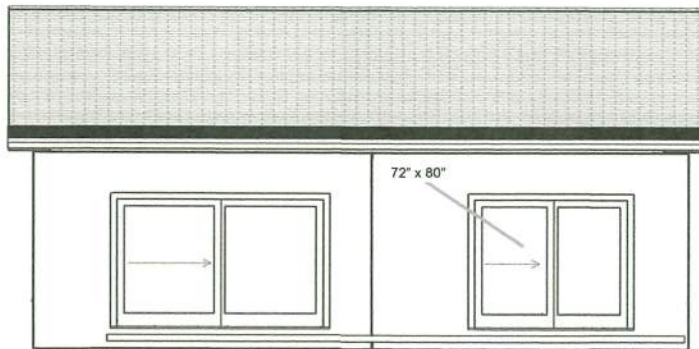
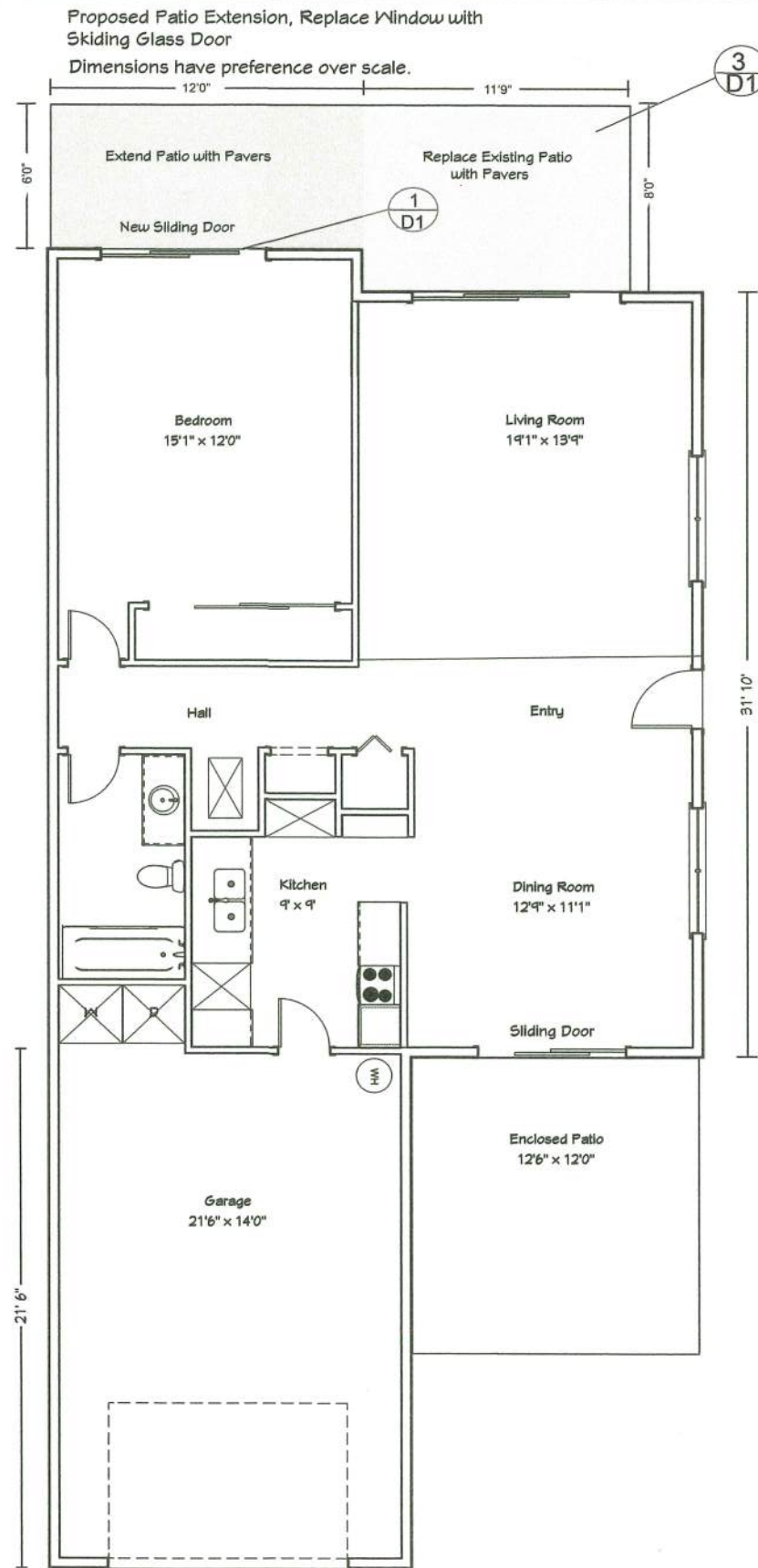
# La Principessa

## NO SCALE

<b>BUILDER</b> Corral Builders 2316 La Linda Place Newport Beach, CA 92660 (949) 415-9056	<b>AGENT</b> James Stevens 26352 Mirar Vista Drive Mission Viejo, CA 92692 (949) 364-0876 	<b>RESIDENT</b> Tim Sheldon 5367C Algarrobo Laguna Woods, CA 92637 (949) 239-5616	Rev	Date	By	Revision



Attachment 4  
Site Plans, Floor Plans



REAR ELEVATION

Patio Paver Specifications

Product Information  
Internet # 310016922  
Model # 21778.TT18  
Store SKU # 1004505535

Specifications

Dimensions: H 2.38 in, W 3.94 in, L 7.87 in

Dimensions

Product Height (in.)	2.38 in	Product Length (in.)	7.87 in
Product Width (in.)	3.94 in		

Details

Color Family	Multi-Colored	Color/Finish	3-Tone Brown
Features	Cuttable, Textured	Landscape Supply Type	Paver
Material	Concrete	Package Quantity	1
Packaging Type	Pallet	Paver Resistance	Fire Resistant, Freeze Resistant, Rust Resistant, Slip Resistant
Paver Size	Small	Paver Style	Traditional
Product Weight (lb.)	5.7 lb	Recommended Application	Pathway, Patio, Pool
Shape	Rectangular	Square Feet per Piece	0.2153
Traffic Type	Foot & Vehicular		

Sliding Door Specifications

Specifications

Dimensions

Actual Door Height (in.)	79.5 in	Actual Door Thickness (in.)	4.553
Actual Door Width (in.)	71.5 in	Door Height (in.)	80 in
Door Thickness (in.)	4.553 in	Door Width (in.)	72 in
Nominal Door Height (in.)	80 in	Nominal Door Thickness (in.)	5 in
Nominal Door Width (in.)	72 in	Rough Opening Height (in.)	80 in
Rough Opening Width (in.)	72 in		

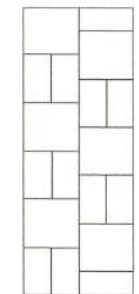
Details

Bore Type	No Bore	Color Family	White
Color/Finish	White	Core Type	Solid Core
Door Configuration	Single Door	Door Glass Insulation	Low-E, Tempered
Door Handling	Left-Hand/Slide	Door Type	Sliding Patio Door
Features	Argon Filled Glass	Finish Type	Finished
Frame Material	Vinyl	Hinge Type	No Hinge
Included	Handle Set, Instructions, Screen	Material	Vinyl
Number of Lites	1 Lite	Product Weight (lb.)	198 lb
Returnable	90-Day		

Patio Pavers Notes

1. All proposed locations and areas directly connected with proposed locations will be reviewed by Manor Alterations in the plan review process for conformance to existing guidelines. A site inspection may be required prior to approval.
2. VMS Landscape Services to be notified prior to excavation to locate all irrigation components in the vicinity of the work. All irrigation relocations shall be performed by VMS staff. Member is responsible for any and all VMS Landscape Services Irrigation relocation costs.
3. Interlocking paver installations must use treated wood, redwood, or plastic edging if required by manufacturer. Edging shall be secured in place per manufacturer's specifications. Edging not required when abutting to walls or concrete slabs or walkways.
4. Interlocking paver installations must use a "Class 2" subbase of a minimum of 4 inches deep and must use a coarse sand layer of a minimum of 1 inch thick as bedding for pavers. Paved area must be compacted with a vibrating flat plate or hand tamper to lock pavers into place.
5. Pavers may be 7/8 of an inch to one inch thick if overlaid on an existing concrete slab. Otherwise pavers must be a minimum of 2 3/8-inches thick.
6. Patio slab extensions shall not encroach into common area.
7. Paver extensions shall not encroach into common area unless a variance is granted.

12" x 24" & 24" x 24"  
Yorkstone Basketweave Design  
(68 Sq Ft/Pallet)



Ideal for Walkways  
48" Wide

(12" - 12" x 24"  
(8" - 24" x 24")

Revision

Description

By

Date

Rev

RESIDENT  
Tim Sheldon  
5367C Algarrobo  
Laguna Woods, CA 92637  
(949) 239-5616

AGENT  
James Stevens  
26352 Mirar Vista Drive  
Mission Viejo, CA 92692  
(949) 364-0876  
*James Stevens*

BUILDER  
Corral Builders  
2316 La Linda Place  
Newport Beach, CA 92660  
(949) 415-9056

A2







**California 2022 CALIFORNIA GREEN BUILDING STANDARDS CODE**  
**RESIDENTIAL MANDATORY MEASURES, SHEET 1 (January 2023)**

Y

N

RESP. PARTY

CHAPTER 3  
GREEN BUILDING  
SECTION 301 GENERAL

301.1 SCOPE. Buildings shall be designed to include the green building measures specified as mandatory in the application checklists contained in this code. Voluntary green building measures are also included in the application checklists and may be included in the design and construction of structures covered by this code, but are not required unless adopted by a city, county, or city and county as specified in Section 101.7.

301.1.1 Additions and alterations. [HCD] The mandatory provisions of Chapter 4 shall be applied to additions or alterations of existing residential buildings where the addition or alteration increases the building's conditioned area, volume, or size. The requirements shall apply only to and/or within the specific area of the addition or alteration.

The mandatory provision of Section 4.106.4.2 may be applied to additions or alterations of existing parking facilities or the addition of new parking facilities serving existing multifamily buildings. See Section 4.106.4.3 for application.

Note: Repairs including, but not limited to, resurfacing, restriping and repairing or maintaining existing lighting fixtures are not considered alterations for the purpose of this section.

Note: On and after January 1, 2014, residential buildings undergoing permitted alterations, additions, or improvements shall replace noncompliant plumbing fixtures with water-conserving plumbing fixtures. Plumbing fixture replacement is required prior to issuance of a certificate of final completion, certificate of occupancy or final permit approval by the local building department. See Civil Code Section 1101.1, et seq., for the definition of a noncompliant plumbing fixture, types of residential buildings affected and other important enactment dates.

301.2 LOW-RISE AND HIGH-RISE RESIDENTIAL BUILDINGS. [HCD] The provisions of individual sections of CALGreen may apply to either low-rise residential buildings high-rise residential buildings, or both. Individual sections will be designated by banners to indicate where the section applies specifically to low-rise only (LR) or high-rise only (HR). When the section applies to both low-rise and high-rise buildings, no banner will be used.

SECTION 302 MIXED OCCUPANCY BUILDINGS  
302.1 MIXED OCCUPANCY BUILDINGS. In mixed occupancy buildings, each portion of a building shall comply with the specific green building measures applicable to each specific occupancy.  
Exceptions:  
1. [HCD] Accessory structures and accessory occupancies serving residential buildings shall comply with Chapter 4 and Appendix AA, as applicable.  
2. [HCD] For purposes of CALGreen, live/work units, complying with Section 419 of the California Building Code, shall not be considered mixed occupancies. Live/Work units shall comply with Chapter 4 and Appendix AA, as applicable.

DIVISION 4.1 PLANNING AND DESIGN  
ABBREVIATION DEFINITIONS:  
HCD Department of Housing and Community Development  
CBC California Building Standards Commission  
DSA-SS Division of the State Architect, Structural Safety  
OSHPD Office of Statewide Health Planning and Development  
LR Low Rise  
HR High Rise  
AA Additions and Alterations  
N New

CHAPTER 4  
RESIDENTIAL MANDATORY MEASURES  
  
SECTION 4.102 DEFINITIONS  
4.102.1 DEFINITIONS  
The following terms are defined in Chapter 2 (and are included here for reference)  
  
FRENCH DRAIN. A trench, hole or other depressed area loosely filled with rock, gravel, fragments of brick or similar pervious material used to collect or channel drainage or runoff water.  
  
WATTLIES. Wattlies are used to reduce sediment in runoff. Wattlies are often constructed of natural plant materials such as hay, straw or similar material shaped in the form of tubes and placed on a downflow slope. Wattlies are also used for perimeter and inlet controls.

4.106 SITE DEVELOPMENT  
4.106.1 GENERAL. Preservation and use of available natural resources shall be accomplished through evaluation and careful planning to minimize negative effects on the site and adjacent areas. Preservation of slopes, management of storm water drainage and erosion controls shall comply with this section.  
  
4.106.2 STORM WATER DRAINAGE AND RETENTION DURING CONSTRUCTION. Projects which disturb less than one acre of soil and are not part of a larger common plan of development which in total disturbs one acre or more, shall manage storm water drainage during construction. In order to manage storm water drainage during construction, one or more of the following measures shall be implemented to prevent flooding of adjacent property, prevent erosion and retain soil runoff on the site.  
  
1. Retention basins of sufficient size shall be utilized to retain storm water on the site.  
2. Where storm water is conveyed to a public drainage system, collection point, gutter or similar disposal method, water shall be filtered by the use of a barrier system, wattie or other method approved by the enforcing agency.  
3. Compliance with a lawfully enacted storm water management ordinance.  
  
Note: Refer to the State Water Resources Control Board for projects which disturb one acre or more of soil, or are part of a larger common plan of development which in total disturbs one acre or more of soil.  
  
(Website: [https://www.waterboards.ca.gov/water\\_issues/programs/stormwater/construction.html](https://www.waterboards.ca.gov/water_issues/programs/stormwater/construction.html))

4.106.3 GRADING AND PAVING. Construction plans shall indicate how the site grading or drainage system will manage all surface water flows to keep water from entering buildings. Examples of methods to manage surface water include, but are not limited to, the following:  
  
1. Swales  
2. Water collection and disposal systems  
3. French drains  
4. Water retention gardens  
5. Other water measures which keep surface water away from buildings and aid in groundwater recharge.  
  
Exception: Additions and alterations not altering the drainage path.

4.106.4 Electric vehicle (EV) charging for new construction. New construction shall comply with Sections 4.106.4.1 or 4.106.4.2 to facilitate future installation and use of EV chargers. Electric vehicle supply equipment (EVSE) shall be installed in accordance with the California Electrical Code, Article 625.

Exceptions:  
1. On a case-by-case basis, where the local enforcing agency has determined EV charging and infrastructure are not feasible based upon one or more of the following conditions:  
1.1 Where there is no local utility power supply or the local utility is unable to supply adequate power.  
1.2 Where there is evidence suitable to the local enforcing agency substantiating that additional local utility infrastructure design requirements, directly related to the implementation of Section 4.106.4, may adversely impact the construction cost of the project.  
2. Accessory Dwelling Units (ADU) and Junior Accessory Dwelling Units (JADU) without additional parking facilities.

4.106.4.1 New one- and two-family dwellings and townhouses with attached private garages. For each dwelling unit, install a listed raceway to accommodate a dedicated 208/240-volt branch circuit. The raceway shall not be less than trade size 1 (nominal 1-inch inside diameter). The raceway shall originate at the main service or subpanel and shall terminate into a listed cabinet, box or other enclosure in close proximity to the proposed location of an EV charger. Raceways are required to be continuous at enclosed, inaccessible or concealed areas and spaces. The raceway shall provide capacity to install a 40-ampere 208/240-volt minimum dedicated branch circuit and space(s) reserved to permit installation of a branch circuit overcurrent protective device.

Exception: A raceway is not required if a minimum 40-ampere 208/240-volt dedicated EV branch circuit is installed in close proximity to the proposed location of an EV charger at the time of original construction in accordance with the California Electrical Code.

4.106.4.1.1 Identification. The service panel or subpanel circuit directory shall identify the overcurrent protective device space(s) reserved for future EV charging as "EV CAPABLE". The raceway termination location shall be permanently and visibly marked as "EV CAPABLE".

Y

N

RESP. PARTY

4.106.4.2 New multifamily dwellings, hotels and motels and new residential parking facilities.  
When parking is provided, parking spaces for new multifamily dwellings, hotels and motels shall meet the requirements of Sections 4.106.4.2.1 and 4.106.4.2.2. Calculations for spaces shall be rounded up to the nearest whole number. A parking space served by electric vehicle parking equipment or designed as a future EV charging space shall count as at least one standard automobile parking space only for the purpose of complying with any applicable minimum parking space requirements established by a local jurisdiction. See Vehicle Code Section 22511.2 for further details.

4.106.4.2.1 Multifamily development projects with less than 20 dwelling units; and hotels and motels with less than 20 sleeping units or guest rooms.  
The number of dwelling units, sleeping units or guest rooms shall be based on all buildings on a project site subject to this section.

1.EV Capable. Ten (10) percent of the total number of parking spaces on a building site, provided for all types of parking facilities, shall be electric vehicle charging spaces (EV spaces) capable of supporting future Level 2 EVSE. Electrical load calculations shall demonstrate that the electrical panel service capacity and electrical system, including any on-site distribution transformer(s), have sufficient capacity to simultaneously charge all EVs at all required EV spaces at a minimum of 40 amperes.

The service panel or subpanel circuit directory shall identify the overcurrent protective device space(s) reserved for future EV charging purposes as "EV CAPABLE" in accordance with the California Electrical Code.

Exceptions:  
1 When EV chargers (Level 2 EVSE) are installed in a number equal to or greater than the required number of EV capable spaces.  
2 When EV chargers (Level 2 EVSE) are installed in a number less than the required number of EV capable spaces, the number of EV capable spaces required may be reduced by a number equal to the number of EV chargers installed.

Notes:  
a. Construction documents are intended to demonstrate the project's capability and capacity for facilitating future EV charging.  
b. There is no requirement for EV spaces to be constructed or available until receptacles for EV charging or EV chargers are installed for use.

2.EV Ready. Twenty-five (25) percent of the total number of parking spaces shall be equipped with low power Level 2 EV charging receptacles. For multifamily parking facilities, no more than one receptacle is required per dwelling unit when more than one parking space is provided for use by a single dwelling unit.

Exception: Areas of parking facilities served by parking lifts.

4.106.4.2.2 Multifamily development projects with 20 or more dwelling units, hotels and motels with 20 or more sleeping units or guest rooms.  
The number of dwelling units, sleeping units or guest rooms shall be based on all buildings on a project site subject to this section.

1.EV Capable. Ten (10) percent of the total number of parking spaces on a building site, provided for all types of parking facilities, shall be electric vehicle charging spaces (EV spaces) capable of supporting future Level 2 EVSE. Electrical load calculations shall demonstrate that the electrical panel service capacity and electrical system, including any on-site distribution transformer(s), have sufficient capacity to simultaneously charge all EVs at all required EV spaces at a minimum of 40 amperes.

The service panel or subpanel circuit directory shall identify the overcurrent protective device space(s) reserved for future EV charging purposes as "EV CAPABLE" in accordance with the California Electrical Code.

Exception: When EV chargers (Level 2 EVSE) are installed in a number greater than five (5) percent of parking spaces required by Section 4.106.4.2.2, Item 3, the number of EV capable spaces required may be reduced by a number equal to the number of EV chargers installed over the five (5) percent required.

Notes:  
a. Construction documents shall show locations of future EV spaces.  
b. There is no requirement for EV spaces to be constructed or available until receptacles for EV charging or EV chargers are installed for use.

2.EV Ready. Twenty-five (25) percent of the total number of parking spaces shall be equipped with low power Level 2 EV charging receptacles. For multifamily parking facilities, no more than one receptacle is required per dwelling unit when more than one parking space is provided for use by a single dwelling unit.

Exception: Areas of parking facilities served by parking lifts.

3.EV Chargers. Five (5) percent of the total number of parking spaces shall be equipped with Level 2 EVSE. Where common use parking is provided, at least one EV charger shall be located in the common use parking area and shall be available for use by all residents or guests.

When low power Level 2 EV charging receptacles or Level 2 EVSE are installed beyond the minimum required, an automatic load management system (ALMS) may be used to reduce the maximum required electrical capacity to each space served by the ALMS. The electrical system and any on-site distribution transformers shall have sufficient capacity to deliver at least 3.3 kW simultaneously to each EV charging station (EVCS) served by the ALMS. The branch circuit shall have a minimum capacity of 40 amperes, and installed EVSE shall have a capacity of not less than 30 amperes. ALMS shall not be used to reduce the minimum required electrical capacity to the required EV capable spaces.

4.106.4.2.2.1 Electric vehicle charging stations (EVCS).  
Electric vehicle charging stations required by Section 4.106.4.2.2, Item 3, shall comply with Section 4.106.4.2.2.1.

Exception: Electric vehicle charging stations serving public accommodations, public housing, motels and hotels shall not be required to comply with this section. See California Building Code, Chapter 11B, for applicable requirements.

4.106.4.2.2.1.1 Location.  
EVCS shall comply with at least one of the following options:  
  
1. The charging space shall be located adjacent to an accessible parking space meeting the requirements of the California Building Code, Chapter 11A, to allow use of the EV charger from the accessible parking space.  
  
2. The charging space shall be located on an accessible route, as defined in the California Building Code, Chapter 2, to the building.  
  
Exception: Electric vehicle charging stations designed and constructed in compliance with the California Building Code, Chapter 11B, are not required to comply with Section 4.106.4.2.2.1.1 and Section 4.106.4.2.2.1.2, Item 3.

4.106.4.2.2.1.2 Electric vehicle charging stations (EVCS) dimensions.  
The charging spaces shall be designed to comply with the following:  
  
1. The minimum length of each EV space shall be 18 feet (5486 mm).  
  
2. The minimum width of each EV space shall be 9 feet (2743 mm).  
  
3. One in every 25 charging spaces, but not less than one, shall also have an 8-foot (2438 mm) wide minimum aisle. A 5-foot (1524 mm) wide minimum aisle shall be permitted provided the minimum width of the EV space is 12 feet (3658 mm).  
  
a. Surface slopes for this EV space and the aisle shall not exceed 1 unit vertical in 48 units horizontal (2.083 percent slope) in any direction.

4.106.4.2.2.1.3 Accessible EV spaces.  
In addition to the requirements in Sections 4.106.4.2.2.1.1 and 4.106.4.2.2.1.2, all EVSE, when installed, shall comply with the accessibility provisions for EV chargers in the California Building Code, Chapter 11B. EV ready spaces and EVCS in multifamily developments shall comply with California Building Code, Chapter 11A, Section 1109A.

4.106.4.2.3 EV space requirements.  
1. If a building has EV spaces, it shall also have a listed raceway capable of accommodating a 208/240-volt dedicated branch circuit. The raceway shall not be less than trade size 1 (nominal 1-inch inside diameter). The raceway shall originate at the main service or subpanel and shall terminate into a listed cabinet, box or enclosure in close proximity to the location or the proposed location of the EV space. Construction documents shall identify the raceway termination point, receptacle or charger location, as applicable. The service panel and/or subpanel shall have a 40-ampere minimum dedicated branch circuit, including branch circuit overcurrent protective device installed, or space(s) reserved to permit installation of a branch circuit overcurrent protective device.

Exception: A raceway is not required if a minimum 40-ampere 208/240-volt dedicated EV branch circuit is installed in close proximity to the location or the proposed location of the EV space, at the time of original construction in accordance with the California Electrical Code.

2. Multiple EV spaces required. Construction documents shall indicate the raceway termination point and the location of installed or future EV spaces, receptacles or EV chargers. Construction documents shall also provide information on ampere of installed or future receptacles or EVSE, raceway method(s), wiring schematics and electrical load calculations. Plan design shall be based upon a 40-ampere minimum branch circuit. Required raceways and related components that are planned to be installed underground, enclosed, inaccessible or in concealed areas and spaces shall be installed at the time of original construction.

Y

N

RESP. PARTY

Exception: A raceway is not required if a minimum 40-ampere 208/240-volt dedicated EV branch circuit is installed in close proximity to the location or the proposed location of the EV space at the time of original construction in accordance with the California Electrical Code.

4.106.4.2.4 Identification.  
The service panel or subpanel circuit directory shall identify the overcurrent protective device space(s) reserved for future EV charging purposes as "EV CAPABLE" in accordance with the California Electrical Code.

4.106.4.2.5 Electric Vehicle Ready Space Signage.  
Electric vehicle ready spaces shall be identified by signage or pavement markings. In compliance with Caltrans Traffic Operations Policy Directive 13-01 (Zero Emission Vehicle Signs and Pavement Markings) or its successor(s).

4.106.4.3 Electric vehicle charging for additions and alterations of parking facilities serving existing multifamily buildings.  
When new parking facilities are added, or electrical systems or lighting of existing parking facilities are added or altered and the work requires a building permit, ten (10) percent of the total number of parking spaces added or altered shall be electric vehicle charging spaces (EV spaces) capable of supporting future Level 2 EVSE.

Notes:  
1. Construction documents are intended to demonstrate the project's capability and capacity for facilitating future EV charging.  
2. There is no requirement for EV spaces to be constructed or available until EV chargers are installed for use.

DIVISION 4.2 ENERGY EFFICIENCY  
4.201 GENERAL  
4.201.1 SCOPE. For the purposes of mandatory energy efficiency standards in this code, the California Energy Commission will continue to adopt mandatory standards.

DIVISION 4.3 WATER EFFICIENCY AND CONSERVATION  
4.303 INDOOR WATER USE  
4.303.1 WATER CONSERVING PLUMBING FIXTURES AND FITTINGS. Plumbing fixtures (water closets and urinals and fittings (faucets and showerheads) shall comply with the sections 4.303.1.1, 4.303.1.2, 4.303.1.3, and 4.303.1.4.

Note: All noncompliant plumbing fixtures in any residential real property shall be replaced with water-conserving plumbing fixtures. Plumbing fixture replacement is required prior to issuance of a certificate of final completion, certificate of occupancy, or final permit approval by the local building department. See Civil Code Section 1101.1, et seq., for the definition of a noncompliant plumbing fixture, types of residential buildings affected and other important enactment dates.

4.303.1.1 Water Closets. The effective flush volume of all water closets shall not exceed 1.28 gallons per flush. Tank-type water closets shall be certified to the performance criteria of the U.S. EPA WaterSense Specification for Toilet-Type Toilets.

Note: The effective flush volume of dual flush toilets is defined as the composite, average flush volume of two reduced flushes and one full flush.

4.303.1.2 Urinals. The effective flush volume of wall mounted urinals shall not exceed 0.125 gallons per flush. The effective flush volume of all other urinals shall not exceed 0.5 gallons per flush.

4.303.1.3 Showerheads.  
  
4.303.1.3.1 Single Showerhead. Showerheads shall have a maximum flow rate of not more than 1.8 gallons per minute at 80 psi. Showerheads shall be certified to the performance criteria of the U.S. EPA WaterSense Specification for Showerheads.  
  
4.303.1.3.2 Multiple showerheads serving one shower. When a shower is served by more than one showerhead, the combined maximum flow rate of the showerheads and/or other shower outlets controlled by a single valve shall not exceed 1.8 gallons per minute at 80 psi, or the shower shall be designed to only allow one shower outlet to be in operation at a time.  
  
Note: A hand-held shower shall be considered a showerhead.

4.303.1.4 Faucets.  
  
4.303.1.4.1 Residential Lavatory Faucets. The maximum flow rate of residential lavatory faucets shall not exceed 1.2 gallons per minute at 60 psi. The minimum flow rate of residential lavatory faucets shall not be less than 0.8 gallons per minute at 20 psi.  
  
4.303.1.4.2 Lavatory Faucets in Common and Public Use Areas. The maximum flow rate of lavatory faucets installed in common and public use areas (outside of dwellings or sleeping units) in residential buildings shall not exceed 0.5 gallons per minute at 60 psi.  
  
4.303.1.4.3 Metering Faucets. Metering faucets when installed in residential buildings shall not deliver more than 0.2 gallons per cycle.  
  
4.303.1.4.4 Kitchen Faucets. The maximum flow rate of kitchen faucets shall not exceed 1.8 gallons per minute at 60 psi. Kitchen faucets may temporarily increase the flow above the maximum rate, but not to exceed 2.2 gallons per minute at 60 psi, and must default to a maximum flow rate of 1.8 gallons per minute at 60 psi.  
  
Note: Where complying faucets are unavailable, aerators or other means may be used to achieve reduction.

4.303.1.4.5 Pre-rinse spray valves.  
When installed, shall meet the requirements in the California Code of Regulations, Title 20 (Appliance Efficiency Regulations), Sections 1605.1 (h)(4) Table H-2, Section 1605.3 (h)(4)(A), and Section 1607 (d)(7) and shall be equipped with an integral automatic shutoff.

FOR REFERENCE ONLY: The following table and code section have been reprinted from the California Code of Regulations, Title 20 (Appliance Efficiency Regulations), Section 1605.1 (h)(4) and Section 1605.3 (h)(4)(A).

TABLE H-2  
  
STANDARDS FOR COMMERCIAL PRE-RINSE SPRAY  
VALUES MANUFACTURED ON OR AFTER JANUARY 28, 2019  
  
PRODUCT CLASS [spray force in ounce force (ozf)] MAXIMUM FLOW RATE (gpm)  
  
Product Class 1 ( $\leq 5.0$  ozf) 1.00  
Product Class 2 ( $> 5.0$  ozf and  $\leq 8.0$  ozf) 1.20  
Product Class 3 ( $> 8.0$  ozf) 1.28  
  
Title 20 Section 1605.3 (h)(4)(A): Commercial pre-rinse spray valves manufactured on or after January 1, 2006, shall have a minimum spray force of not less than 4.0 ounces-force (ozf)/113 grams-force (gf)

4.303.2 Submeters for multifamily buildings and dwelling units in mixed-used residential/commercial buildings.  
Submeters shall be installed to measure water usage of individual rental dwelling units in accordance with the California Plumbing Code.

4.303.3 Standards for plumbing fixtures and fittings. Plumbing fixtures and fittings shall be installed in accordance with the California Plumbing Code, and shall meet the applicable standards referenced in Table 1701.1 of the California Plumbing Code.

NOTE:  
THIS TABLE COMPLETES THE DATA IN SECTION 4.303.1, AND IS INCLUDED AS A CONVENIENCE FOR THE USER.

TABLE - MAXIMUM FIXTURE WATER USE  
  
FIXTURE TYPE FLOW RATE  
  
SHOWER HEADS (RESIDENTIAL) 1.8 GMP @ 80 PSI  
  
LAVATORY FAUCETS (RESIDENTIAL) MAX. 1.2 GPM @ 60 PSI MIN. 0.8 GPM @ 20 PSI  
  
LAVATORY FAUCETS IN COMMON & PUBLIC USE AREAS 0.5 GPM @ 60 PSI  
  
KITCHEN FAUCETS 1.8 GPM @ 60 PSI  
  
METERING FAUCETS 0.2 GAL/CYCLE  
  
WATER CLOSET 1.28 GAL/FLUSH  
  
URINALS 0.125 GAL/FLUSH

Y

N

RESP. PARTY

4.304 OUTDOOR WATER USE  
4.304.1 OUTDOOR POTABLE WATER USE IN LANDSCAPE AREAS. Residential developments shall comply with a local water efficient landscape ordinance or the current California Department of Water Resources' Model Water Efficient Landscape Ordinance (MWELO), whichever is more stringent.

NOTES:  
1. The Model Water Efficient Landscape Ordinance (MWELO) is located in the California Code Regulations, Title 23, Chapter 2.7, Division 2. MWELO and supporting documents, including water budget calculator, are available at: <https://www.water.ca.gov>

DIVISION 4.4 MATERIAL CONSERVATION AND RESOURCE EFFICIENCY  
4.406 ENHANCED DURABILITY AND REDUCED MAINTENANCE  
4.406.1 ROOF PROOFING. Annular spaces around pipes, electric cables, conduits or other openings in soffit/roft panels at exterior walls shall be protected against the passage of rotents by closing such openings with cement mortar, concrete masonry or a similar method acceptable to the enforcing agency.

4.408 CONSTRUCTION WASTE REDUCTION, DISPOSAL AND RECYCLING  
4.408.1 CONSTRUCTION WASTE MANAGEMENT. Recycle and/or salvage for reuse a minimum of 65 percent of the non-hazardous construction and demolition waste in accordance with other Section 4.408.2, 4.408.3 or 4.408.4, or meet a more stringent local construction and demolition waste management ordinance.  
  
Exceptions:  
1. Excavated soil and land-clearing debris.  
2. Alternate waste reduction methods developed by working with local agencies if diversion or recycle facilities capable of compliance with this item do not exist or are not located reasonably close to the jobsite.  
3. The enforcing agency may make exceptions to the requirements of this section when isolated jobsites are located in areas beyond the usual boundaries of the diversion facility.

4.408.2 CONSTRUCTION WASTE MANAGEMENT PLAN. Submit a construction waste management plan in accordance with Items 1 through 5. The construction waste management plan shall be updated as necessary and shall be available during construction for examination by the enforcing agency.

1. Identify the construction and demolition waste materials to be diverted from disposal by recycling, reuse on the project or salvage for future use or sale.  
2. Specify if construction and demolition waste materials will be sorted on-site (source separated) or bulk hauled (single stream).  
3. Identify diversion facilities where the construction and demolition waste material collected will be taken.  
4. Identify construction methods employed to reduce the amount of construction and demolition waste generated.  
5. Specify that the amount of construction and demolition waste materials diverted shall be calculated by weight or volume, but not by both.

4.408.3 WASTE MANAGEMENT COMPANY. Utilize a waste management company, approved by the enforcing agency, which can provide verifiable documentation that the percentage of construction and demolition waste material diverted from the landfill complies with Section 4.408.1.  
  
Note: The owner or contractor may make the determination if the construction and demolition waste materials will be diverted by a waste management company.

4.408.4 WASTE STREAM REDUCTION ALTERNATIVE [LR]. Projects that generate a total combined weight of construction and demolition waste disposed of in landfills, which do not exceed 3.4 lbs./sq. ft. of the building area shall meet the minimum 65% construction waste reduction requirement in Section 4.408.1.

4.408.4.1 WASTE STREAM REDUCTION ALTERNATIVE. Projects that generate a total combined weight of construction and demolition waste disposed of in landfills, which do not exceed 2 pounds per square foot of the building area, shall meet the minimum 65% construction waste reduction requirement in Section 4.408.1.

4.408.5 DOCUMENTATION. Documentation shall be provided to the enforcing agency which demonstrates compliance with Section 4.408.2, Items 1 through 5, Section 4.408.4 or Section 4.408.4.

NOTES:  
1. Sample forms found in "A Guide to the California Green Building Standards Code (Residential)" located at [www.hcd.ca.gov/CALGreen.html](http://www.hcd.ca.gov/CALGreen.html) may be used to assist in documenting compliance with this section.  
2. Mixed construction and demolition debris (C & D) processors can be located at the California Department of Resources Recycling and Recovery (CalRecycle).

4.410 BUILDING MAINTENANCE AND OPERATION  
4.410.1 OPERATION AND MAINTENANCE MANUAL. At the time of final inspection, a manual, compact disc, web-based reference or other media acceptable to the enforcing agency which includes all of the following shall be placed in the building:  
  
1. Directions to the owner or occupant that the manual shall remain with the building throughout the life cycle of the structure.  
2. Operation and maintenance instructions for the following:  
a. Equipment and appliances, including water-saving devices and systems, HVAC systems, photovoltaic systems, electric vehicle chargers, water-heating systems and other major appliances.  
b. Roof and yard drainage, including gutters and downspouts.  
c. Space conditioning systems, including condensers and air filters.  
d. Landscape irrigation systems.  
e. Water reuse systems.  
3. Information from local utility, water and waste recovery providers on methods to further reduce resource consumption, including recycle programs and locations.  
4. Public transportation and/or carpool options available in the area.  
5. Educational material on the positive impacts of an interior relative humidity between 30-60 percent and what methods an occupant may use to maintain the relative humidity level in that range.  
6. Information about water-conserving landscape and irrigation design and controllers which conserve water.  
7. Instructions for maintaining gutters and downspouts and the importance of diverting water at least 5 feet away from the foundation.  
8. Information on required routine maintenance measures, including, but not limited to, caulking, painting, grading around the building, etc.  
9. Information about state solar energy and incentive programs available.  
10. A copy of all special inspections verifications required by the enforcing agency or this code.  
11. Information from the Department of Forestry and Fire Protection on maintenance of defensible space around residential structures.  
12. Information and/or drawings identifying the location of grab bar reinforcements.

4.410.2 RECYCLING BY OCCUPANTS. Where 5 or more multifamily dwelling units are constructed on a building site, provide readily accessible waste receptacles that serve all buildings on the site and are used for depositing, storage and collection of non-hazardous materials for recycling, including (at a minimum) paper, corrugated cardboard, glass, plastics, organic waste, and metals, or meet a lawfully enacted local recycling ordinance, if more restrictive.


Exception: Rural jurisdictions that meet and apply for the exemption in Public Resources Code Section 42640.82 (a)(2)(A) et seq. are not required to comply with the organic waste portion of this section.

DIVISION 4.5 ENVIRONMENTAL QUALITY  
SECTION 4.501 GENERAL  
4.501.1 Provisions  
The scope of this chapter shall outline means of reducing the quality of air contaminants that are odorous, irritating and/or harmful to the comfort and well being of a building's installers, occupants and neighbors.

SECTION 4.502 DEFINITIONS  
The following terms are defined in Chapter 2 (and are included here for reference)  
  
AGRI-FIBER PRODUCTS. Agri-fiber products include wheatboard, strawboard, panel substrates and door cores, not including furniture, fixtures and equipment (FF&E) not considered base building elements.

COMPOSITE WOOD PRODUCTS. Composite wood products include hardwood plywood, particleboard and medium density fiberboard. "Composite wood products" does not include hardboard or melamine plywood, structural panels, structural composite lumber, oriented strand board, glued laminated timber, prefabricated wood joists or finger-jointed lumber, all as specified in California Code of regulations (CCR), title 17, Section 93120.1.

DIRECT-VENT APPLIANCE. A fuel-burning appliance with a sealed combustion system that draws all air for combustion from the outside atmosphere and discharges all flue gases to the outside atmosphere.

<b>G1</b>	<b>BUILDER</b> Corral Builders 2316 La Linda Place Newport Beach, CA 92660 (949) 415-9056	<b>AGENT</b> James Stevens 26352 Mirar Vista Drive Mission Viejo, CA 92692 (949) 364-0876 	<b>RESIDENT</b> Tim Sheldon 5367C Algarrobo Laguna Woods, CA 92637 (949) 239-5616	<div style="text-align: center;">Revision</div> <div>Rev</div> <div>Date</div> <div>By</div> <div>Description</div> <div></div> <div></div> <div></div> <div></div> <div></div> <div></div>
-----------	---	--	---	---



**AIA California 2022 CALIFORNIA GREEN BUILDING STANDARDS CODE**  
**RESIDENTIAL MANDATORY MEASURES, SHEET 2** (January 2023)

[illegible][illegible]

**RESIDENT**  
Tim Sheldon  
5367C Algarrobo  
Laguna Woods, CA 92637  
(949) 239-5616

**AGENT**  
**James Stevens**  
26352 Mirar Vista Drive  
Mission Viejo, CA 92692  
(949) 364-0876

**BUILDER**  
Corral Builders  
2316 La Linda Place  
Newport Beach, CA 92660  
(949) 415-9056

## G2



**CONDITIONS OF APPROVAL**

**Manor:** 5367-C

**Variance Description:** Replace Window with Sliding Glass Door and Paver Patio on Common Area

A Variance for Alterations has been granted at the above manor, subject to the attached plans stamped approved and is subject to a final inspection by the Division. Any variations to the approved attached plans are not allowed and could result in a stop work notice and/or disciplinary action taken against the Member.

**Manor-Specific Conditions:**

**A. General Comments:**

- A.1. Due to this approval involving the use of Common Area, the member shall provide to Manor Alterations a copy of the Grant Deed and Legal Description for the unit, prior to application for Mutual Consent for Demolition and Alteration, for use in preparation of the "Recordable Exclusive Use of Common Area Revocable License" as mentioned in Section G General Conditions.
- A.2. This approval does not change the number of bedrooms or the original maximum occupants permitted in the Unit.
- A.3. The Member shall provide plans, specifications, and calculations from a duly licensed architect to conform to the Building Codes for the work of this variance.
- A.4. A City of Laguna Woods Building Permit will be required and provided to Manor Alterations to verify all code requirements.

**B. Materials and Methods:**

- B.1. Pavers installation must be set per Standard 21 Patio Slabs, Walkways, and Pavers.

**C. Requirements for Mutual Consent for Alterations:**

- C.1. Prior to the Issuance of a Mutual Consent for Alterations, a complete set of unit specific plans, specifications and calculations prepared by a licensed architect or structural engineer depicting the proposed improvement must be submitted to the Division office located in the Laguna Woods Village

Community Center. The plans must depict any required structural modifications ensuring the structural integrity of the building is maintained upon completion of the proposed improvement.

**D. Requirements for Final Inspection by Manor Alterations:**

- D.1. Prior to Final Inspection by Manor Alterations, a scanned copy of the City-Approved and Stamped plan set shall be submitted to the Division office located in the Laguna Woods Village Community Center. The plans must depict the work as completed and approved by the City, including all structural and architectural modifications.
- D.2. Prior to Final Inspection by Manor Alterations, all altered exterior surfaces should match the Building texture and color; the approved colors and materials are available at Resident Services, located at the Community Center first floor.

**General Conditions:**

**G. General Conditions**

- G.1. No improvement shall be installed, constructed, modified or altered at 5367-Center Manor Address., ("Property") within the Third Laguna Hills Mutual ("Mutual") without an approved Mutual Consent for Alterations application for the improvement has been made to, and approved, in writing, by, the Village Management Services, Inc. ("VMS, Inc."), Alterations Division ("Division"), or, in the event of a Variance from the Mutual's Alteration Standards, the Architectural Control and Standards Committee ("ACSC"). In the event written permission is given for the installation, construction, modification or alteration of any improvement(s) upon the Property, the Member or Members ("Member") agrees to comply with the Mutual's Governing Documents and any specific terms or conditions imposed, and that the installation, construction, modification or alteration shall be in strict compliance with the terms of the approval.
- G.2. Member hereby consents to and grants to the Mutual and the Maintenance and Construction Department, and their representatives, a right of entry upon the Property, with reasonable notice, to inspect the permitted improvements, and for their representatives and contractors to remedy any violation upon the Property, including, but not limited to, unauthorized disturbance of regulated materials, removing trash from common areas, removing any improvement



installed without approval or modifying an improvement to bring the same into compliance with the terms of the approval. Any remedial work performed on behalf of the manor owner as a result of violations to Mutual policy and/or regulatory violations will be processed as a chargeable service.

- G.3. All costs for maintenance, repair, renovation, replacement or removal of the improvement, present and future, are the responsibility of the Property's Member at 5367-C and all future Mutual Members at 5367-C.
- G.4. Member shall be responsible for all activity by contractors, subcontractors, material suppliers and their employees and agents and any others who perform work on the Property, including any violation of the Mutual's Governing Documents, including, but not limited to, traffic and parking violations, maintenance of a clean job site at all times, damage to Mutual property, and use of Mutual property for storage of equipment or materials without prior approval. Member acknowledges and agrees that all such persons are his/her invitees. Member shall be responsible for informing all his/her invitees of the Mutual's Rules and Regulations.
- G.5. Member shall be liable for any violation of the Mutual's Governing Documents by any invitee, including any fine, assessment or other charge levied in connection therewith.
- G.6. Member is responsible for following the gate clearance process (<http://www.lagunawoodsvillage.com/residents/resident-services> and click on documents and Business Pass Application Instructions) in place to admit contractors and other invitees.
- G.7. Member's contractors and other invitees shall have business signage on vehicles and travel to and from the job site by the most direct route available and are not authorized to use Mutual recreational facilities or other amenities while they are in the Village for performance of work in connection with the Property.
- G.8. Parking of contractors or other invitees' vehicles is prohibited in covered resident parking, open resident spaces, handicapped spaces or fire lanes. Contractors or other invitees must park on the street. To the extent possible contractors' or other invitees' vehicles should be limited in number.
- G.9. Must obtain an approved Mutual Consent application within 180 days or 6 months of the variance approval before it is expired.

- G.10. Member(s) of the Property must sign and submit to the Mutual, c/o VMS, Inc., at the Division office located in the Laguna Woods Village Community Center, an executed and notarized "Recordable Common Area Exclusive Use Revocable License" for a proposed improvement that would utilize any portion of the Mutual's Common Area. Prior to the issuance of a Mutual Consent for Manor Alterations, that "Recordable Exclusive Use of Common Area Revocable License" must be filed with the Orange County Clerk/Recorder.
- G.11. A City of Laguna Woods permit may be required, which may include the requirement to obtain clearance from the South Coast Air Quality Management District (Asbestos Hot Line at (909) 396-2336). Prior to the issuance of a City of Laguna Woods permit an applicant must present the appropriate Mutual Consent issued by Manor Alterations to the City. Please complete this step with Manor Alterations prior to submitting an application to the City. Once the City issues a Building Permit, you must submit a copy of the permit with the permit number to Manor Alterations. The City permit must be finalized within the prescribed timeframe, and a copy of the final permit must be submitted to the Division within two weeks.
- G.12. Prior to the issuance of a Mutual Consent for Alterations, a complete set of unit specific plans prepared by a licensed architect or structural engineer depicting the proposed improvement must be submitted to the Division office located in the Laguna Woods Village Community Center. The plans must depict any required structural modifications ensuring the structural integrity of the building is maintained upon completion of the proposed improvement.
- G.13. All improvements must be installed in accordance with the California State Building Code, and the published Mutual Architectural Alterations Standards, Policies and Guidelines. See <http://www.lagunawoodsvillage.com>.
- G.14. During construction, work hours established by the Mutual and the Noise Ordinance set forth in the City of Laguna Woods Municipal Code must be adhered to at all times.
- G.15. During construction, both the Mutual Consent for Alterations and the City Building Permit must be on display for public view at all times in a location approved by the Division.
- G.16. It is mandatory that no waste or materials associated with the construction be

dumped in the Village trash bins; such waste or materials associated with the construction must be disposed of offsite by the contractor.

- G.17. A dumpster is approved for placement at the location identified by Security Staff by calling 949-580-1400. All dumpsters must conform to the Policy for Temporary Containers. Dumpsters must be ordered from the approved City of Laguna Woods waste hauler and must be maintained at all times.
- G.18. Dumpsters must be ordered from the approved City of Laguna Woods waste hauler and must be maintained at all times.
- G.19. A portable bathroom is approved for placement at the location identified by Security Staff by calling 949-580-1400.
- G.20. The Mutual Consent for Alterations expires six months after the date of Notice of Approval issued by Manor Alterations, unless an application is submitted with fees and approved by the Division for an extension. Only one extension for a maximum of an additional six months may be granted.
- G.21. Violations of the forgoing conditions or the Mutual's Governing Documents (See <http://www.lagunawoodsvillage.com>), including, but not limited to, unpaid assessments, work outside the approved plans, excessive noise, illegal dumping, or working after hours, will result in disciplinary action, which could result in a stop work notice, loss of privileges and/or severe fines to the Member. Such fines left unpaid will result in forfeiture of a portion or all of the Conformance Deposit required above or other legal remedy.
- G.22. Member shall indemnify, defend and hold harmless Third Laguna Hills Mutual and its officers, directors, committee Members and agents from and against any and all claims, demands, costs, fines, judgments, settlements and any other costs, expenses, amounts and liabilities arising from Member's improvements and installation, construction, design and maintenance of same.



**RESOLUTION 03-24-XX**

**Variance Request**

**WHEREAS**, Member located at 5367-C Algarrobo, a La Princesa style manor, requests Architectural Control and Standards Committee approval of a variance to replace window with sliding glass door and paver patio on Common Area; and

**WHEREAS**, a Neighborhood Awareness Notice was sent to Members of affected units notifying them that an application to make an alteration to a neighboring unit had been made and that comments or objections could be made in writing to the Architectural Control and Standards Committee or in person at the Architectural Control and Standards Committee Meeting on July 8, 2024; and

**WHEREAS**, the Architectural Control and Standards Committee reviewed the variance and moved for approval of the variance to replace window with sliding glass door and paver patio on Common Area;

**NOW THEREFORE BE IT RESOLVED**, on July 16, 2024, the Third Laguna Hills Mutual Board hereby approves the request to replace window with sliding glass door and paver patio on Common Area; and

**RESOLVED FURTHER**, all costs for maintenance, repair, renovation, replacement or removal of the improvement, present and future, are the responsibility of the Property's Member at 5367-C Algarrobo and all future Mutual Members at 5367-C Algarrobo; and

**RESOLVED FURTHER**, that the officers and agents of this Corporation are hereby authorized on behalf of the Corporation to carry out the purpose of this resolution.



## STAFF REPORT

---

**DATE:** July 8, 2024  
**FOR:** Architectural Control and Standards Committee  
**SUBJECT:** Revision to Standard 18: Gutters and Downspouts

---

### **RECOMMENDATION**

Staff recommends that the Third Architectural Control and Standards Committee (ACSC) endorse the revised Standard 18: Gutters and Downspouts.

### **BACKGROUND**

The ACSC initiated a review of the current Standard 18: Gutters and Downspouts (Attachment 1) and proposed revisions to the Standard intended to bring it up to current industry standards and improved designs. Standard 18 was last enacted in December 2023, via Resolution 03-23-144 (Attachment 2).

### **DISCUSSION**

The suggested modifications to this standard are recommended in order to update design and installation guidelines which will allow for better functionality, maintenance improvements and proper building / site drainage.

### **FINANCIAL ANALYSIS**

There is no financial impact to the mutual for the recommended action.

**Prepared By:** Alan Grimshaw, Manor Alterations Manager

**Reviewed By:** Baltazar Mejia, Maintenance & Construction Assistant Director  
Gavin Fogg, Manor Alterations Supervisor

### **ATTACHMENT(S)**

Attachment 1 – Current Standard 18: Gutters and Downspouts  
Attachment 2 – Current Resolution 03-23-144  
Attachment 3 – Redlined Revised Standard 18: Gutters and Downspouts  
Attachment 4 – Final Draft Standard 18: Gutters and Downspouts  
Attachment 5 – Proposed Resolution 03-24-XX



## **STANDARD 18: GUTTERS & DOWNSPOUTS**

OCTOBER 1981

REVISED APRIL 1996 RESOLUTION M3-96-28

GENERAL REQUIREMENTS REVISED APRIL 2011, RESOLUTION 03-11-49

GENERAL REQUIREMENTS REVISED JANUARY 2018, RESOLUTION 03-18-12

REVISED JUNE 2018, RESOLUTION 03-18-91

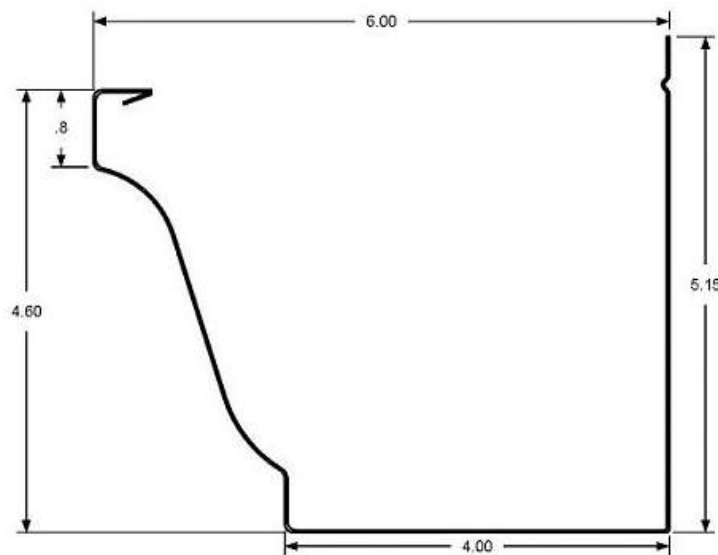
REVISED DECEMBER 2023, RESOLUTION 03-23-144

### **1.0 GENERAL REQUIREMENTS**

**SEE STANDARD 1: GENERAL REQUIREMENTS**

### **2.0 APPLICATIONS**

- 2.1** All gutters shall have a slope of no less than 1/8-inch per foot along their entire run length unless approved by Manor Alterations.
- 2.2** Downspouts shall be installed at intervals appropriate for its installation in compliance with The Sheet Metal and Air Conditioning Contractors' National Association (SMACNA). No downspout may be installed that will drain into an area that will effect surface drainage in an adverse way.
- 2.3** Installations to roof systems where hangers penetrate or may harm the roofing material in any way are prohibited.
- 2.4** All gutters are to be 6-inches wide as measured across the top. Gutters are to be made of aluminum with a minimum gauge of .027. Vinyl coated aluminum is permitted. Copper and steel gutters or downspouts are not permitted.



- 2.5** All downspouts to be sized appropriately for the area that is being drained and must match the color of existing guttering.
- 2.6** Termination of a downspout shall not allow water flowing out of a downspout to flow back towards the building. A combination of downspout and splash blocks may be used to achieve positive drainage away from building.
- 2.7** Downspouts that terminate directly into a drain inlet must provide a 1-inch air gap at point of transition.
- 2.8** Gutters and leaf guards are required in order to assist in substantially reducing maintenance costs; prevent pest infestations and breeding sites; provide fire protection from flying embers; and prevent obstructions.
- 2.9** Gutters and downspouts will be of the same color to match the surface they are attached to.
- 2.10** Alteration aluminum gutters and downspouts are not to be connected to original steel gutters and downspouts. If the alteration gutter system must be connected to an original steel gutter system, the Member is responsible for replacing the original steel gutter system with new aluminum that matches the original style and color.
- 2.11** Gutters attached to the Mutual owned fascia are required to be attached using hidden hangers and be spaced at a minimum of 30-inches. Smooth striated and spiral spikes are prohibited.
- 2.12** All penetrations must be properly sealed, Exposed wood must be primed and painted to match the existing paint of the building. Member will be responsible for all damages to roof or fascia.



**RESOLUTION 03-23-144**

**STANDARD 18: GUTTERS AND DOWNSPOUTS**

**WHEREAS**, the Architectural Control and Standards Committee recognizes the need to amend Standards and create new Standards as necessary; and

**WHEREAS**, the Architectural Control and Standards Committee recognizes the need to revise Standard 18: Gutters and Downspouts;

**NOW THEREFORE BE IT RESOLVED**, December 19, 2023, that the Board of Directors of this Corporation hereby adopts Standard 18: Gutters and Downspouts as attached to the official meeting minutes; and

**RESOLVED FURTHER**, that Resolution 03-18-91 adopted June 19, 2018, is hereby superseded in its entirety and no longer in effect; and

**RESOLVED FURTHER**; that the officers and agents of this Corporation are hereby authorized on behalf of the Corporation to carry out this resolution as written.





## STANDARD 18: GUTTERS & DOWNSPOUTS

OCTOBER 1981

REVISED APRIL 1996 RESOLUTION M3-96-28

GENERAL REQUIREMENTS REVISED APRIL 2011, RESOLUTION 03-11-49

GENERAL REQUIREMENTS REVISED JANUARY 2018, RESOLUTION 03-18-12

REVISED JUNE 2018, RESOLUTION 03-18-91

REVISED DECEMBER 2023, RESOLUTION 03-23-144

REVISED [DATE], RESOLUTION 03-24-XX

### 1.0 GENERAL REQUIREMENTS

See Standard 1: General Requirements ~~EE STANDARD 1: GENERAL REQUIREMENTS~~

### 2.0 DEFINITIONS

- 2.1 Seamless gutters: A seamless gutter is a single piece of gutter formed on the jobsite to match the exact measurement of a particular job. Seamless gutters can be run in lengths up to 100 feet.
- 2.2 Hidden gutter hangers: A hidden gutter hanger is designed to clip under the gutter hem and screwed to the fascia board from inside the gutter.
- 2.3 Spike and ferrule hangers: A spike is a long nail that penetrates the front of a gutter and is directed to the back of the gutter through a ferrule or tube.
- 2.4 Fascia: A finished wooden board or other flat piece of material such that covers the end of the roof rafters.
- 2.5 Splash block: A device manufactured from concrete or plastic that works to channel water away from the building foundation, positioned directly under a downspout.

### 2.03.0 APPLICATIONS

- 3.1 All gutter installations are to be seamless.

- 2.13.2 All gutters shall have a slope of no less than 1/8-inch per foot along their entire run length but no more than 1/2-inch in 40 lineal feet. Gutters and

downspouts shall be installed so that water does not pool at any point. unless approved by Manor Alterations.

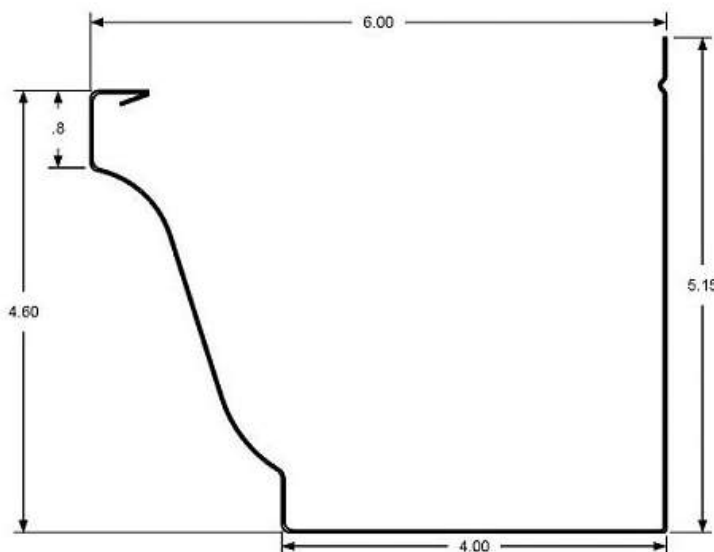
**3.3** Downspouts shall be installed at intervals appropriate for its installation in compliance with The Sheet Metal and Air Conditioning Contractors' National Association (SMACNA).

A. In no case shall downspout spacing exceed 40 lineal feet.

**2.2B.** No downspout may be installed that will drain into an area that will effect surface drainage in an adverse way.

**2.33.4** All gutter installations that penetrate the to-roof systems where hangers penetrate or may harm the roofing material in any way are prohibited.

**2.43.5** All gutters are to be 6-inches wide as measured across the top. Gutters are to be made of aluminum with a minimum gauge of .027. Vinyl coated aluminum is permitted. Copper and steel gutters or downspouts are not permitted.



A. Exception: In patio cover installations where a 'rafter bracket' is used, gutter width can be modified to 5 inches to accommodate 'rafter bracket'. See Standard 22: Patio & Balcony Covers Aluminum and Vinyl.

**2.53.6** All downspouts to be sized appropriately for the area that is being drained and must match the color of existing guttering.

**2.63.7** Termination of a downspout shall not allow water flowing out of a downspout to flow back towards the building. A combination of downspout and splash blocks may be used to achieve positive drainage away from building.

**2.73.8** Downspouts that terminate directly into a drain inlet must provide a 1-inch air gap at point of transition.

**2.83.9** Gutters and leaf guards are required in order to assist in substantially reducing maintenance costs; prevent pest infestations and breeding sites; provide fire protection from flying embers; and prevent obstructions.

**2.93.10** Gutters and downspouts will be of the same color to match the surface

they are attached to.

**2.103.11** Alteration aluminum gutters and downspouts are not to be connected to original steel gutters and downspouts. If the alteration gutter system must be connected to an original steel gutter system, the mMember is responsible for replacing the original steel gutter system with new aluminum that matches the original style and color.

**2.113.12** Gutters attached to the mMutual owned fascia are required to be attached using hidden gutter hangers and be spaced at a minimum of 30-inches. Spike and ferrule hangers ~~Smooth-striated and spiral spikes~~ are prohibited.

**2.123.13** All penetrations must be properly sealed, eExposed wood must be primed and painted to match the existing paint of the building. Member will be responsible for all damages to roof or fascia.



## **STANDARD 18: GUTTERS & DOWNSPOUTS**

OCTOBER 1981

REVISED APRIL 1996 RESOLUTION M3-96-28

GENERAL REQUIREMENTS REVISED APRIL 2011, RESOLUTION 03-11-49

GENERAL REQUIREMENTS REVISED JANUARY 2018, RESOLUTION 03-18-12

REVISED JUNE 2018, RESOLUTION 03-18-91

REVISED DECEMBER 2023, RESOLUTION 03-23-144

REVISED [DATE], RESOLUTION 03-24-XX

### **1.0 GENERAL REQUIREMENTS**

See Standard 1: General Requirements

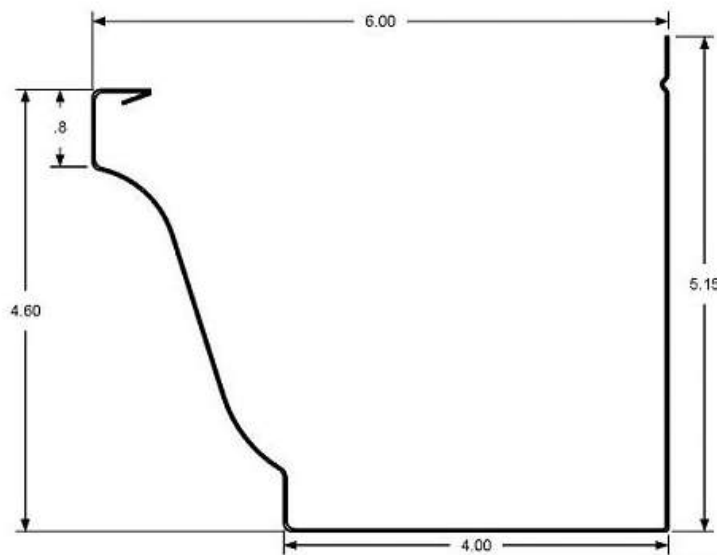
### **2.0 DEFINITIONS**

- 2.1** Seamless gutters: A seamless gutter is a single piece of gutter formed on the jobsite to match the exact measurement of a particular job. Seamless gutters can be run in lengths up to 100 feet.
- 2.2** Hidden gutter hangers: A hidden gutter hanger is designed to clip under the gutter hem and screwed to the fascia board from inside the gutter.
- 2.3** Spike and ferrule hangers: A spike is a long nail that penetrates the front of a gutter and is directed to the back of the gutter through a ferrule or tube.
- 2.4** Fascia: A finished wooden board or other flat piece of material such that covers the end of the roof rafters.
- 2.5** Splash block: A device manufactured from concrete or plastic that works to channel water away from the building foundation, positioned directly under a downspout.

### **3.0 APPLICATIONS**

- 3.1** All gutter installations are to be seamless.
- 3.2** All gutters shall have a slope of no less than 1/8-inch per foot along their entire run length but no more than 1/2-inch in 40 lineal feet. Gutters and downspouts shall be installed so that water does not pool at any point.

- 3.3** Downspouts shall be installed at intervals appropriate for its installation in compliance with The Sheet Metal and Air Conditioning Contractors' National Association (SMACNA).
- A. In no case shall downspout spacing exceed 40 lineal feet.
  - B. No downspout may be installed that will drain into an area that will effect surface drainage in an adverse way.
- 3.4** All gutter installations that penetrate the roof systems in any way are prohibited.
- 3.5** All gutters are to be 6-inches wide as measured across the top. Gutters are to be made of aluminum with a minimum gauge of .027. Vinyl coated aluminum is permitted. Copper and steel gutters or downspouts are not permitted.



- A. Exception: In patio cover installations where a 'rafter bracket' is used, gutter width can be modified to 5 inches to accommodate 'rafter bracket'. See Standard 22: Patio & Balcony Covers Aluminum and Vinyl.
- 3.6** All downspouts to be sized appropriately for the area that is being drained and must match the color of existing guttering.
- 3.7** Termination of a downspout shall not allow water flowing out of a downspout to flow back towards the building. A combination of downspout and splash blocks may be used to achieve positive drainage away from building.
- 3.8** Downspouts that terminate directly into a drain inlet must provide a 1-inch air gap at point of transition.
- 3.9** Gutters and leaf guards are required in order to assist in substantially reducing maintenance costs; prevent pest infestations and breeding sites; provide fire protection from flying embers; and prevent obstructions.
- 3.10** Gutters and downspouts will be of the same color to match the surface they are attached to.

- 3.11** Alteration aluminum gutters and downspouts are not to be connected to original steel gutters and downspouts. If the alteration gutter system must be connected to an original steel gutter system, the member is responsible for replacing the original steel gutter system with new aluminum that matches the original style and color.
- 3.12** Gutters attached to the mutual owned fascia are required to be attached using hidden gutter hangers and be spaced at a minimum of 30-inches. Spike and ferrule hangers are prohibited.
- 3.13** All penetrations must be properly sealed, exposed wood must be primed and painted to match the existing paint of the building. Member will be responsible for all damages to roof or fascia.



**RESOLUTION 03-24-XX**

**REVISE STANDARD 18: GUTTERS & DOWNSPOUTS**

**WHEREAS**, the Third Laguna Hills Mutual recognizes the need to amend standards and create new standards as necessary; and

**WHEREAS**, the Mutual recognized the need to revise Standard 18: Gutters and Downspouts;

**NOW THEREFORE BE IT RESOLVED**, [DATE], the Board of Directors of this Corporation hereby adopts revisions and amendments to Standard 18: Gutters and Downspouts as attached to the official minutes of this meeting; and

**RESOLVED FURTHER**, that Resolution 03-23-144 adopted December 19, 2023, is hereby superseded and canceled; and

**RESOLVED FURTHER**; that the officers and agents of this Corporation are hereby authorized on behalf of the Corporation to carry out this resolution.

**JULY INITIAL NOTIFICATION:** Should the Board endorse the proposed revisions, Staff recommends that a motion be made and seconded to accept the resolution and allow discussion to ensure that the resolution reads to the satisfaction of the Board. Staff then recommends that a Board Member postpones the resolution to the next available Board Meeting no less than 28-days from the postponement to comply with Civil Code §4360.

This Page Left Intentionally Blank





## STAFF REPORT

---

**DATE:** July 8, 2024  
**FOR:** Architectural Control and Standards Committee  
**SUBJECT:** Revision to Standard 34: Windows & Window Attachments

---

### **RECOMMENDATION**

Staff recommends that the Third Architectural Control and Standards Committee (ACSC) endorse the revised Standard 34: Windows & Window Attachments.

### **BACKGROUND**

The ACSC initiated a review of the current Standard 34: Windows & Window Attachments (Attachment 1) and proposed revisions to the Standard intended to bring it up to current industry standards and improved designs. Standard 34 was last enacted in January 2019, via Resolution 03-19-09 (Attachment 2).

### **DISCUSSION**

The suggested modifications to this standard are recommended in order to develop a more consistent architectural standard throughout the community; clarify the design criteria; update energy efficiency requirements; update window egress requirements; and clarify maintenance responsibilities.

### **FINANCIAL ANALYSIS**

There is no financial impact to the mutual for the recommended action.

**Prepared By:** Alan Grimshaw, Manor Alterations Manager

**Reviewed By:** Baltazar Mejia, Maintenance & Construction Assistant Director  
Gavin Fogg, Manor Alterations Supervisor

### **ATTACHMENT(S)**

Attachment 1 – Current Standard 34: Windows & Window Attachments  
Attachment 2 – Current Resolution 03-19-09  
Attachment 3 – Redlined Revised Standard 34: Windows & Window Attachments  
Attachment 4 – Final Draft Standard 34: Windows & Window Attachments  
Attachment 5 – Proposed Resolution 03-24-XX



## **STANDARD 34: WINDOWS & WINDOW ATTACHMENTS**

MAY 1996, RESOLUTION M3-96-28  
 SEPTEMBER 2002, RESOLUTION M3-02-47  
 NOVEMBER 2002, RESOLUTION M3-02-62  
 OCTOBER 2004, RESOLUTION 03-04-27  
 REVISED FEBRUARY 2006, RESOLUTION 03-06-10  
 REVISED SEPTEMBER 2006, RESOLUTION 03-06-41  
 REVISED MAY 2007, RESOLUTION 03-07-47  
 REVISED APRIL 2011, RESOLUTION 03-11-51  
 GENERAL REQUIREMENTS REVISED APRIL 2011, RESOLUTION 03-11-49  
 REVISED DECEMBER 2011, RESOLUTION 03-11-215  
 REVISED JANUARY 2019, RESOLUTION 03-19-09

### **1.0 GENERAL REQUIREMENTS**

See Standard Section 1: General Requirements

### **2.0 APPLICATIONS**

- 2.1** New construction window replacement is permitted only upon the approval of the Alterations Division office. Retrofit windows are permitted upon the approval of the Alterations Division office in accordance with the criteria established herein.
- 2.2** Windows may be framed with either aluminum or vinyl. Wood framed windows, and the use of other materials, are subject to the review of the Board of Directors.
- 2.3** Aluminum framed windows must match the original window frame color on the building with either a natural or bronzed anodized finish.
- 2.4** All vinyl framed windows must be white in color. Colors other than white vinyl will be reviewed by the Board of Directors.
- 2.5** Windows and sliding glass doors on the same wall of an individual manor will be replaced concurrently to ensure visual continuity in the building and surrounding area except when windows and/or sliding glass doors are obscured by patio walls or glass enclosures. At any such time that the enclosure is removed, exposing the windows and/or sliding glass doors, the Member must replace the windows and/or sliding glass doors to conform to the Mutual Standard.
- 2.6** Any existing retrofit windows in the building will set the precedent for trim size/dimensions to be utilized for new retrofit installations.



- 2.7 The top of window heights shall be at 6'-8" unless a special height is called for on the standard plan drawing.
- 2.8 Size and location of windows shall be as per standard plan drawings.
- 2.9 All retrofit windows must be certified with the City of Laguna Woods. Any retrofit window that is not properly certified is subject to permit revocation and removal at the sole cost of the manor owner.
- 2.10 Any retrofit of bedroom windows for a La Jolla-style manor must include a minimum of one (1) roll and turn style window or a casement window in order to meet building code egress regulations.

### **3.0 INSTALLATION REQUIREMENTS**

- 3.1 All windows are required to meet building code regulations.
- 3.2 XOX windows may replace XO windows, and vice versa. Fixed panels may replace sliding panels, and sliding panels may replace fixed panels.
- 3.3 XO windows may be converted to picture windows, and vice versa, provided the height and width of the opening remain the same and egress is not compromised.
- 3.4 Windows may be converted to sliding glass doors, and vice versa, provided that 1) the area faces into a patio, atrium, or balcony, and 2) the height and width of the opening remain the same.
- 3.5 Where windows have a configuration of XO above an XO or OO in the same opening, the bottom section may be filled in using standard construction practices. The dimensions of the top section must remain the same.
- 3.6 Casement windows are not permitted where the window, when open, would protrude into an area where maintenance of property, i.e., mowing, pruning, planting, would be impeded, or where the window would protrude into a walkway or area where pedestrians walk.
- 3.7 Casement windows are permitted to be installed where egress windows in bedrooms are required due to the installation of a patio enclosure.
- 3.8 Bathroom windows covered with an original or permitted grille may remain as is during the retrofit of other windows on the same elevation, provided the existing frame is painted to match the retrofit windows.



- 3.9** Bathroom windows may remain as is during the retrofit of other windows on the same elevation when retrofitting the subject window would reduce the glass size to less than one (1) foot in any direction.
- 3.10** Retrofit louvered bathroom windows. Louvered bathroom windows may be retrofitted with other window options that fit the existing opening, a single fixed pane of glass, a double hung window, casement window, and glass blocks. Replacement windows must conform to Section 34 window standards. Plans and specifications must be submitted to the Permits Department for approval prior to installation.
- 3.11** Recessed vinyl retrofitted kitchen windows. Flanges on recessed vinyl retrofit kitchen windows shall be cut to fit the size of the window it is replacing. Metal frames around the window shall be painted to match the vinyl window frame, except for casement windows in three-story buildings. Paint must be appropriate for use on metal surfaces.
- 3.12** The total width of the perimeter frame and sash for retrofit vinyl windows shall not exceed four inches. Unless the subject window is surrounded by original wood framing, all non-casement window flanges must extend beyond any open areas between the aluminum frame and all sides in order to adequately protect against water intrusion.
- 3.13** With the exception of recessed windows, cutting of the flanges is not permitted.
- 3.14** The retrofit window frame should be constructed in a flat plane without raised or sculptured parts.
- 3.15** Windows must be properly insulated according to the manufacturer's installation instructions.
- 3.16** Retrofits of recessed windows must paint any exposed aluminum framing to match the color of the vinyl window. Garden Villa casement windows are an exception to this Standard.

#### **4.0 TYPE OF GLASS**

- 4.1** All glass to be clear, single light (no grids) with the following exception: single story manors may install vinyl retrofit windows and doors with grids that match the design pattern and dimension of the grids for all windows and doors on the same elevation. All glass shall be tempered as required on standard plan, except as outlined in



Section 6.0. Thermopane-type glass is required. Replacement window will correspond with Section 2.0.

- 4.2 Stained or leaded-type glass per Section 6.0.
- 4.3 Reflective tints or films applied to glass after manufacture may be applied providing it does not have a reflectivity factor of more than 15%. Documentation of such material must be on hand and approved by the Alterations Division office before such application.
- 4.4 All bathroom windows will be of opaque glass.

## **5.0 ATTACHMENTS**

- 5.1 No window awnings permitted.
- 5.2 No storm windows or glass shields will be installed on the exterior of any window.

## **6.0 STAINED GLASS**

- 6.1 Any application for stained, leaded, etc., types of glass must be submitted to the Permits and Inspections office for approval of design, color, and sizes.
- 6.2 All non-standard designs will be reviewed by the Board of Directors.

## **7.0 WROUGHT IRON GRILLES**

- 7.1 All wrought iron grilles will be painted in accordance with the Mutual Paint Policy and approved color palette.
- 7.2 All grilles shall be decorative in nature and design. They will match other wrought iron, i.e., gates and fences where present.
- 7.3 Grilles shall not be placed on sliding glass doors or any other part of the unit except windows.
- 7.4 Grilles may be placed on only the first floor of any building except on those buildings where windows face into a breezeway and do not open directly into a walkway as determined by the Alterations Division office.
- 7.5 Maximum overhang of grilles shall be limited to 6" in any direction beyond window dimensions. No grille shall protrude more than 6" from the window.



- 7.6** Quick emergency release pins are required for fire purposes. Release pins shall be U.L. or U.B.C. approved and a smoke detector shall be utilized within the room where the grilles are installed.

## **8.0 GARDEN WINDOWS**

- 8.1** Garden windows may be defined as planter windows, greenhouse, protruding windows, or bay windows.
- 8.2** No garden window shall extend outward from the building beyond 24". The largest horizontal or vertical dimensions of a garden window shall not exceed 8'-0" x 6'-0".
- 8.3** Garden windows shall be permitted only in dining rooms, nooks, and kitchens. Exception: any room where a window will face into a walled patio area.
- 8.4** No garden window shall be permitted where it may conceivably obstruct normal pedestrian traffic even within a walled patio area.
- 8.5** No garden window shall be permitted above the first floor of any building except on buildings where the window faces into the breezeway area.
- 8.6** A window in which an existing fire-rated assembly has been included into the building to satisfy building code requirements shall not be removed and replaced by a garden window, except where a garden window is a similarly fire-rated unit.
- 8.7** Garden window frame will meet Staff approval and this Standard.

## **9.0 SLIDING GLASS DOORS**

- 9.1** In order to maintain visual consistency, sliding glass doors are subject to the Standards set forth in Section 2.0.

## DIMENSIONS FOR EMERGENCY ESCAPE AND RESCUE OPENINGS

The IRC prescribes minimum opening dimensions and a maximum sill height for emergency escape and rescue openings to effectively serve their intended purpose. The minimum opening size accommodates a fully equipped fire fighter or other rescuer as well as providing an adequate escape route for the occupant. The limitation on sill height allows a child or adult access to the escape opening. Width and height may be any number of combinations to achieve the minimum required opening area provided the minimum net dimensions are maintained (Table 1). The emergency escape and rescue opening may be a swinging or sliding door, a window or any other device that provides the required dimensions.

**Minimum net clear opening dimensions (Figures 3 and 4)**  
 Minimum opening area - 5.7 square feet *5.0 sq ft for first floor.*  
 Minimum opening width - 20 inches  
 Minimum opening height - 24 inches

The following combinations of width and height will provide a net clear opening of 5.7 square feet (820.8 square inches):

width (in.)	height (in.)	width (in.)	height (in.)
20	X 41	27.5	X 29.8
20.5	X 40	28	X 29.3
21	X 39.1	28.6	X 28.8
21.5	X 38.2	29	X 28.3
22	X 37.3	29.5	X 27.8
22.5	X 36.5	30	X 27.4
23	X 35.7	30.5	X 26.9
23.5	X 34.9	31	X 26.5
24	X 34.2	31.5	X 26.1
24.5	X 33.5	32	X 25.7
25	X 32.8	32.5	X 25.3
25.5	X 32.2	33	X 24.9
26	X 31.6	33.5	X 24.5
26.5	X 31	34	X 24.1
27	X 30.4	34.5	X 24

**Maximum sill height above floor (Figures 3 to 5)**  
 Maximum sill height - 44 inches

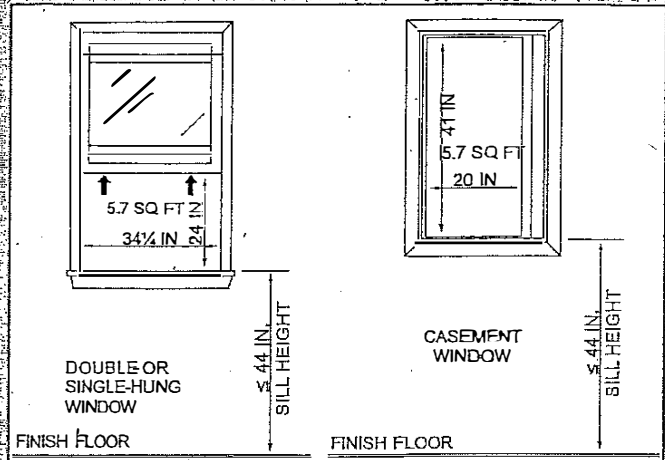


Figure 3 - Single or double hung or casement window

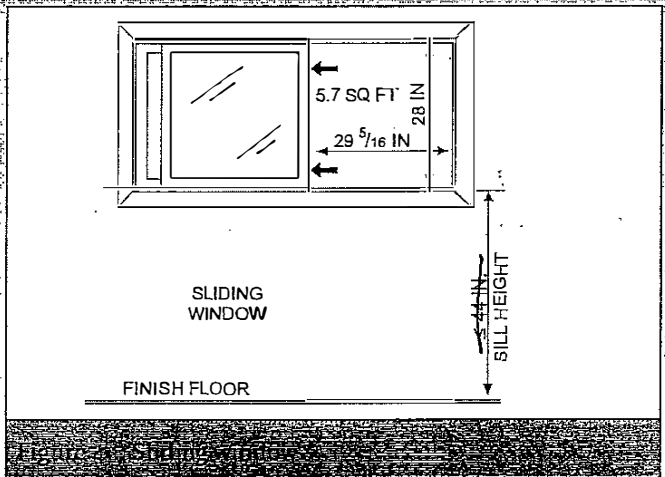


Figure 4 - Sliding window

**RESOLUTION 03-19-09**

**REVISE ALTERATION STANDARD 34: WINDOW AND WINDOW ATTACHMENTS**

**WHEREAS**, the Architectural Controls and Standards Committee recognizes the need to amend Alteration Standards and create new Alteration Standards as necessary; and

**WHEREAS**, the Architectural Control and Standard Committee recognizes the need to revise Alteration Standard 34: Windows and Window Attachments.

**NOW THEREFORE BE IT RESOLVED**, January 15, 2019, that the Board of Directors of this Corporation hereby introduces Alteration Standard 34: Windows and Window Attachments as attached to the official meeting minutes;

**RESOLVED FURTHER**, that Resolution 03-11-215 adopted December, 2011, is hereby superseded in its entirety and no longer in effect;

**RESOLVED FURTHER**; that the officers and agents of this Corporation are hereby authorized on behalf of the Corporation to carry out this resolution as written.





## STANDARD 34: WINDOWS & WINDOW ATTACHMENTS

MAY 1996, RESOLUTION M3-96-28

SEPTEMBER 2002, RESOLUTION M3-02-47

NOVEMBER 2002, RESOLUTION M3-02-62

OCTOBER 2004, RESOLUTION 03-04-27

REVISED FEBRUARY 2006, RESOLUTION 03-06-10

REVISED SEPTEMBER 2006, RESOLUTION 03-06-41

REVISED MAY 2007, RESOLUTION 03-07-47

REVISED APRIL 2011, RESOLUTION 03-11-51

GENERAL REQUIREMENTS REVISED APRIL 2011, RESOLUTION 03-11-49

REVISED DECEMBER 2011, RESOLUTION 03-11-215

REVISED JANUARY 2019, RESOLUTION 03-19-09

REVISED [DATE], RESOLUTION 03-24-XX

### 1.0 GENERAL REQUIREMENTS

See Standard Section 1: General Requirements ~~EE STANDARD 1: GENERAL REQUIREMENTS~~

### 2.0 DEFINITIONS

2.1 New Construction Window – A window, where both window frame and window are installed at a new location.

2.2 Retrofit Window – A new window and frame is installed in an existing framed window opening.

2.3 Egress Window – An existing or new replacement window that is properly sized to meet current building code emergency exiting requirements. See Detail Section 10.0

2.4 Window Operation XO –  
X: Designates operable glass portion of a window  
O: Designates fixed glass portion of a window

2.5 Window Types – See Detail Section 9.0

2.6 Vinyl Window – Window framing and surrounding components are made of vinyl with the primary ingredient being PVC (Poly-Vinyl Chloride)

- 2.7 Composite Windows – Window framing and surrounding component are made with several different materials combined together to form a strong singular composite material.

### **3.0 MATERIALS & FINISHES**

- 3.1 New construction or retrofit windows shall be vinyl, composite or aluminum type windows. Other materials are subject to review by the ACSC (Architectural Control and Standards Committee)

- 3.2 Finish colors to be white or black. Other colors are subject to review and approval by the ACSC.

A. All windows / frames along any one given elevation are to match in color.

### **4.0 DESIGN CRITERIA**

- 4.1 XOX windows may replace XO windows and vice versa, (i.e. fixed panels may replace sliding panels and sliding panels may replace fixed panels).

- 4.2 XO windows may be converted to a picture window and vice versa.

A. The height and width of the opening must remain the same

B. Egress requirements cannot be compromised.

- 4.3 Where window styles have an XO above an XO or OO window below, the window section below may be filled in to match existing interior and exterior finishes.

A. The dimensions of the top window section must remain the same.

- 4.4 All windows and sliding glass doors along any one elevation or wall to be replaced with matching styles and at the same time to ensure architectural integrity along said elevation or wall.

- 4.5 Exterior window trim or flange shall not exceed 4" in width and be on a flat plane with the wall surface.

- 4.6 Window Accessories / Attachments that are **not** allowed:

A. Awnings

B. Storm Windows/ Glass Shields

C. Exterior Shutters

D. Wrought Iron Grilles

E. Planter Boxes**5.0 GLAZING****5.1 Title 24 / Energy efficient requirements – Subject to current building codes:**A. TemperedB. Dual glazingC. Meet low-e2 standards (thin coating minimizing the amount of infrared and ultraviolet light that comes through glass)D. U factor of 0.30 (rates how fast heat is gained or lost through a window)E. Energy Star – recommended**5.2 Stained glass window design, specifications and locations are subject to review and approval by the ACSC.****5.3 Reflective tints or films applied to glass after manufacture is permitted provided the reflectivity factor does not exceed 15%. Verification documentation required at Mutual Consent Application.****6.0 GARDEN WINDOWS****6.1 Included in this classification: Greenhouse window, planter window, bay window.****6.2 All garden type windows may be subject to review and approval by the ACSC.****6.3 A garden type window shall not extend farther out from the face of the building by more than 24 inches.**A. Maximum horizontal dimension 8 feetB. Maximum vertical dimension 6 feet.**6.4 A garden type window shall be permitted in the following areas:**A. KitchenB. Breakfast nookC. Dining roomD. A window location that projects into an enclosed patio area.**6.5 A garden type window is not allowed in the following conditions:**

A. Where projection impedes a pedestrian walkway

B. Above the first floor UNLESS it would project into an existing breezeway.

6.6 A garden type window must not compromise the fire rating of the wall that it is installed in.

## **2.07.0 APPLICATIONS**

7.1 New construction window replacement is permitted only upon the approval of the Alterations Division office. Retrofit windows are permitted upon the approval of the Alterations Division office in accordance with the criteria established herein. All windows are to comply with current building codes.

7.2 A scaled floorplan showing all new or retrofit locations is required.

A. All retrofit bedroom window installations must meet minimum egress requirements. See Section 10

7.3 Top of window heights shall be at 6'-8" (6 feet 8 inches). Any variation is subject to review and approval by the ACSC.

7.4 Size of retrofit windows to be as large as possible with in an existing opening.

A. All new or retrofit windows in a bedroom shall comply with minimum egress requirements as dictated by current building codes. See Section 10.0 reference.

7.5 Casement windows are not permitted where:

A. The opening swings into an area where regular building / landscaping maintenance is required.

B. The opening swings into a pedestrian walkway.

## **2.1**

~~2.2 Windows may be framed with either aluminum or vinyl. Wood framed windows, and the use of other materials, are subject to the review of the Board of Directors.~~

~~2.3 Aluminum framed windows must match the original window frame color on the building with either a natural or bronzed anodized finish.~~

~~2.4 All vinyl framed windows must be white in color. Colors other than white vinyl will be reviewed by the Board of Directors.~~

~~2.5 Windows and sliding glass doors on the same wall of an individual manor will be replaced concurrently to ensure visual continuity in the building and surrounding area except when windows and/or sliding glass doors are~~

~~obscured by patio walls or glass enclosures. At any such time that the enclosure is removed, exposing the windows and/or sliding glass doors, the Member must replace the windows and/or sliding glass doors to conform to the Mutual Standard.~~

~~2.6 Any existing retrofit windows in the building will set the precedent for trim size/dimensions to be utilized for new retrofit installations.~~

~~2.7 The top of window heights shall be at 6'-8" unless a special height is called for on the standard plan drawing.~~

~~2.8 Size and location of windows shall be as per standard plan drawings~~

~~2.9 All retrofit windows must be certified with the City of Laguna Woods. Any retrofit window that is not properly certified is subject to permit revocation and removal at the sole cost of the manor owner.~~

~~2.10 Any retrofit of bedroom windows for a La Jolla-style manor must include a minimum of one (1) roll and turn style window or a casement window in order to meet building code egress regulations.~~

### **3.08.0 MAINTENANCE INSTALLATION REQUIREMENTS**

~~8.1 All windows are required to meet building code regulations. Member is responsible for all upkeep and maintenance of all new or replacement windows.~~

~~8.2 If new or replacement windows fall into a state of disrepair, the mutual at its discretion may make any necessary repairs and charge the member for such repairs.~~

**3.4**

~~3.2 XOX windows may replace XO windows, and vice versa. Fixed panels may replace sliding panels, and sliding panels may replace fixed panels.~~

~~3.3 XO windows may be converted to picture windows, and vice versa, provided the height and width of the opening remain the same and egress is not compromised.~~

~~3.4 Windows may be converted to sliding glass doors, and vice versa, provided that 1) the area faces into a patio, atrium, or balcony, and 2) the height and width of the opening remain the same.~~

~~3.5 Where windows have a configuration of XO above an XO or OO in the same opening, the bottom section may be filled in using standard construction practices. The dimensions of the top section must remain the same.~~

~~3.6 Casement windows are not permitted where the window, when open, would protrude into an area where maintenance of property, i.e., mowing, pruning, planting, would be impeded, or where the window would protrude into a walkway or area where pedestrians walk.~~

- ~~3.7 Casement windows are permitted to be installed where egress windows in bedrooms are required due to the installation of a patio enclosure.~~
- ~~3.8 Bathroom windows covered with an original or permitted grille may remain as is during the retrofit of other windows on the same elevation, provided the existing frame is painted to match the retrofit windows.~~
- ~~3.9 Bathroom windows may remain as is during the retrofit of other windows on the same elevation when retrofitting the subject window would reduce the glass size to less than one (1) foot in any direction.~~
- ~~3.10 Retrofit louvered bathroom windows. Louvered bathroom windows may be retrofitted with other window options that fit the existing opening, a single fixed pane of glass, a double hung window, casement window, and glass blocks. Replacement windows must conform to Section 34 window standards. Plans and specifications must be submitted to the Permits Department for approval prior to installation.~~
- ~~3.11 Recessed vinyl retrofitted kitchen windows. Flanges on recessed vinyl retrofit kitchen windows shall be cut to fit the size of the window it is replacing. Metal frames around the window shall be painted to match the vinyl window frame, except for casement windows in three-story buildings. Paint must be appropriate for use on metal surfaces.~~
- ~~3.12 The total width of the perimeter frame and sash for retrofit vinyl windows shall not exceed four inches. Unless the subject window is surrounded by original wood framing, all non-casement window flanges must extend beyond any open areas between the aluminum frame and all sides in order to adequately protect against water intrusion.~~
- ~~3.13 With the exception of recessed windows, cutting of the flanges is not permitted.~~
- ~~3.14 The retrofit window frame should be constructed in a flat plane without raised or sculptured parts.~~
- ~~3.15 Windows must be properly insulated according to the manufacturer's installation instructions.~~
- ~~3.16 Retrofits of recessed windows must paint any exposed aluminum framing to match the color of the vinyl window. Garden Villa casement windows are an exception to this Standard.~~

## 9.0 WINDOW STYLES (see attached) TYPE OF GLASS

## 10.0 EGRESS WINDOW GUIDELINES (see attached)

## 12 Main Types of Window Styles



**Single-Hung**



**Double-Hung**



**Casement**



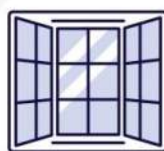
**Awning**



**Garden**



**Sliding**



**Bay or Bow**



**Palladian**



**Picture**



**Arched**



**Egress**



**Skylight**

 HomeAdvisor

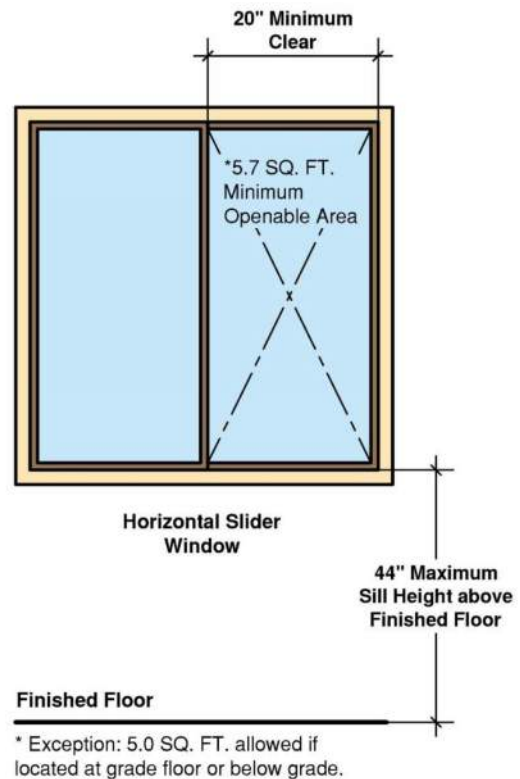
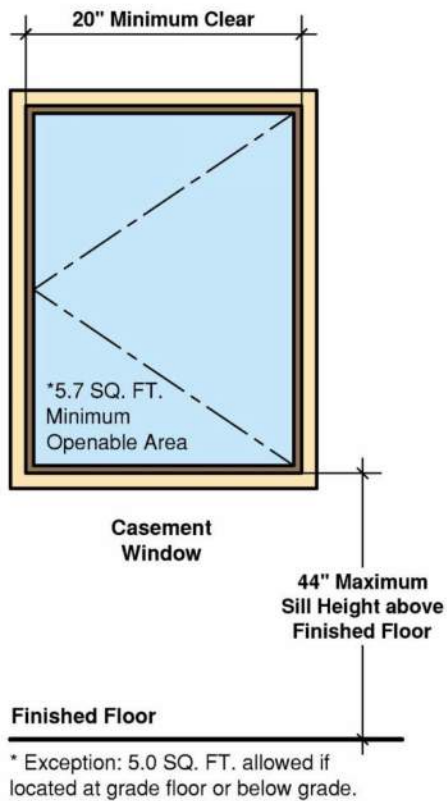
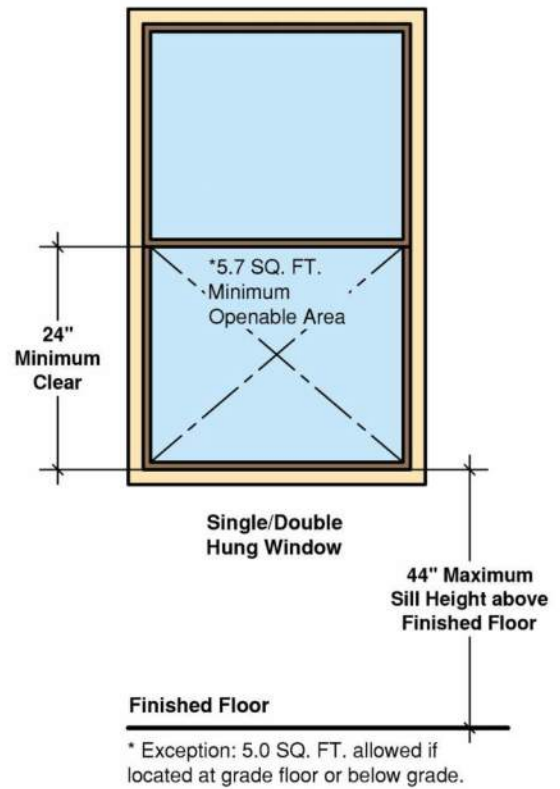


Egress Windows are required in all sleeping rooms.

Egress Window Size and Dimensions:

1. Minimum 5.7 square feet of net clear opening area.
2. Minimum 24 inches of net clear height opening.
3. Minimum 20 inches of net clear width opening.

**NOTE: THESE REMAIN SUBJECT TO CURRENT BUILDING CODES.**



**4.0**

- ~~4.1 All glass to be clear, single light (no grids) with the following exception: single story manors may install vinyl retrofit windows and doors with grids that match the design pattern and dimension of the grids for all windows and doors on the same elevation. All glass shall be tempered as required on standard plan, except as outlined in Section 6.0. Thermopane-type glass is required. Replacement window will correspond with Section 2.0.~~
- ~~4.2 Stained or leaded-type glass per Section 6.0.~~
- ~~4.3 Reflective tints or films applied to glass after manufacture may be applied providing it does not have a reflectivity factor of more than 15%. Documentation of such material must be on hand and approved by the Alterations Division office before such application.~~
- ~~4.4 All bathroom windows will be of opaque glass.~~

**5.0 ATTACHMENTS**

- ~~5.1 No window awnings permitted.~~
- ~~5.2 No storm windows or glass shields will be installed on the exterior of any window~~

**6.0 STAINED GLASS**

- ~~6.1 Any application for stained, leaded, etc., types of glass must be submitted to the Permits and Inspections office for approval of design, color, and sizes.~~
- ~~6.2 All non-standard designs will be reviewed by the Board of Directors.~~

## **7.0 WROUGHT IRON GRILLES**

- ~~7.1~~** — All wrought iron grilles will be painted in accordance with the Mutual Paint Policy and approved color palette.
- ~~7.2~~** — All grilles shall be decorative in nature and design. They will match other wrought iron, i.e., gates and fences where present.
- ~~7.3~~** — Grilles shall not be placed on sliding glass doors or any other part of the unit except windows.
- ~~7.4~~** — Grilles may be placed on only the first floor of any building except on those buildings where windows face into a breezeway and do not open directly into a walkway as determined by the Alterations Division office.
- ~~7.5~~** — Maximum overhang of grilles shall be limited to 6" in any direction beyond window dimensions. No grille shall protrude more than 6" from the window.
- ~~7.6~~** — Quick emergency release pins are required for fire purposes. Release pins shall be U.L. or U.B.C. approved and a smoke detector shall be utilized within the room where the grilles are installed.

## **8.0 GARDEN WINDOWS**

- ~~8.1~~** — Garden windows may be defined as planter windows, greenhouse, protruding windows, or bay windows.
- ~~8.2~~** — No garden window shall extend outward from the building beyond 24". The largest horizontal or vertical dimensions of a garden window shall not exceed 8'-0" x 6'-0".
- ~~8.3~~** — Garden windows shall be permitted only in dining rooms, nooks, and kitchens. Exception: any room where a window will face into a walled patio area.
- ~~8.4~~** — No garden window shall be permitted where it may conceivably obstruct normal pedestrian traffic even within a walled patio area.
- ~~8.5~~** — No garden window shall be permitted above the first floor of any building except on buildings where the window faces into the breezeway area.
- ~~8.6~~** — A window in which an existing fire-rated assembly has been included into the building to satisfy building code requirements shall not be removed and replaced by a garden window, except where a garden window is a similarly fire-rated unit.
- ~~8.7~~** — Garden window frame will meet Staff approval and this Standard.

**9.0 SLIDING GLASS DOORS**

**9.1** ~~In order to maintain visual consistency, sliding glass doors are subject to the Standards set forth in Section 2.0.~~



## **STANDARD 34: WINDOWS & WINDOW ATTACHMENTS**

MAY 1996, RESOLUTION M3-96-28

SEPTEMBER 2002, RESOLUTION M3-02-47

NOVEMBER 2002, RESOLUTION M3-02-62

OCTOBER 2004, RESOLUTION 03-04-27

REVISED FEBRUARY 2006, RESOLUTION 03-06-10

REVISED SEPTEMBER 2006, RESOLUTION 03-06-41

REVISED MAY 2007, RESOLUTION 03-07-47

REVISED APRIL 2011, RESOLUTION 03-11-51

GENERAL REQUIREMENTS REVISED APRIL 2011, RESOLUTION 03-11-49

REVISED DECEMBER 2011, RESOLUTION 03-11-215

REVISED JANUARY 2019, RESOLUTION 03-19-09

REVISED [DATE], RESOLUTION 03-24-XX

### **1.0 GENERAL REQUIREMENTS**

See Standard Section 1: General Requirements

### **2.0 DEFINITIONS**

- 2.1** New Construction Window – A window, where both window frame and window are installed at a new location.
- 2.2** Retrofit Window – A new window and frame is installed in an existing framed window opening.
- 2.3** Egress Window – An existing or new replacement window that is properly sized to meet current building code emergency exiting requirements. See Detail Section 10.0
- 2.4** Window Operation XO –  
X: Designates operable glass portion of a window  
O: Designates fixed glass portion of a window
- 2.5** Window Types – See Detail Section 9.0
- 2.6** Vinyl Window – Window framing and surrounding components are made of vinyl with the primary ingredient being PVC (Poly-Vinyl Chloride)

- 2.7 Composite Windows – Window framing and surrounding component are made with several different materials combined together to form a strong singular composite material.

### 3.0 **MATERIALS & FINISHES**

- 3.1 New construction or retrofit windows shall be vinyl, composite or aluminum type windows. Other materials are subject to review by the ACSC (Architectural Control and Standards Committee)
- 3.2 Finish colors to be white or black. Other colors are subject to review and approval by the ACSC.

A. All windows / frames along any one given elevation are to match in color.

### 4.0 **DESIGN CRITERIA**

- 4.1 XOX windows may replace XO windows and vice versa, (i.e. fixed panels may replace sliding panels and sliding panels may replace fixed panels).
- 4.2 XO windows may be converted to a picture window and vice versa.

A. The height and width of the opening must remain the same

B. Egress requirements cannot be compromised.

- 4.3 Where window styles have an XO above an XO or OO window below, the window section below may be filled in to match existing interior and exterior finishes.

A. The dimensions of the top window section must remain the same.

- 4.4 All windows and sliding glass doors along any one elevation or wall to be replaced with matching styles and at the same time to ensure architectural integrity along said elevation or wall.

- 4.5 Exterior window trim or flange shall not exceed 4" in width and be on a flat plane with the wall surface.

- 4.6 Window Accessories / Attachments that are **not** allowed:

- A. Awnings
- B. Storm Windows/ Glass Shields
- C. Exterior Shutters
- D. Wrought Iron Grilles
- E. Planter Boxes

## **5.0 GLAZING**

- 5.1** Title 24 / Energy efficient requirements – Subject to current building codes:
- A. Tempered
  - B. Dual glazing
  - C. Meet low-e2 standards (thin coating minimizing the amount of infrared and ultraviolet light that comes through glass)
  - D. U factor of 0.30 (rates how fast heat is gained or lost through a window)
  - E. Energy Star – recommended
- 5.2** Stained glass window design, specifications and locations are subject to review and approval by the ACSC.
- 5.3** Reflective tints or films applied to glass after manufacture is permitted provided the reflectivity factor does not exceed 15%. Verification documentation required at Mutual Consent Application.

## **6.0 GARDEN WINDOWS**

- 6.1** Included in this classification: Greenhouse window, planter window, bay window.
- 6.2** All garden type windows may be subject to review and approval by the ACSC.
- 6.3** A garden type window shall not extend farther out from the face of the building by more than 24 inches.
- A. Maximum horizontal dimension 8 feet
  - B. Maximum vertical dimension 6 feet.
- 6.4** A garden type window shall be permitted in the following areas:
- A. Kitchen
  - B. Breakfast nook
  - C. Dining room
  - D. A window location that projects into an enclosed patio area.
- 6.5** A garden type window is not allowed in the following conditions:
- A. Where projection impedes a pedestrian walkway
  - B. Above the first floor UNLESS it would project into an existing



breezeway.

- 6.6** A garden type window must not compromise the fire rating of the wall that it is installed in.

## **7.0 APPLICATIONS**

- 7.1** All windows are to comply with current building codes.

- 7.2** A scaled floorplan showing all new or retrofit locations is required.

A. All retrofit bedroom window installations must meet minimum egress requirements. See Section 10

- 7.3** Top of window heights shall be at 6'-8" (6 feet 8 inches). Any variation is subject to review and approval by the ACSC.

- 7.4** Size of retrofit windows to be as large as possible with in an existing opening.

A. All new or retrofit windows in a bedroom shall comply with minimum egress requirements as dictated by current building codes. See Section 10.0 reference.

- 7.5** Casement windows are not permitted where:

A. The opening swings into an area where regular building / landscaping maintenance is required.

B. The opening swings into a pedestrian walkway.

## **8.0 MAINTENANCE**

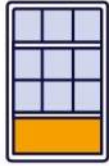
- 8.1** Member is responsible for all upkeep and maintenance of all new or replacement windows.

- 8.2** If new or replacement windows fall into a state of disrepair, the mutual at its discretion may make any necessary repairs and charge the member for such repairs.

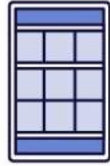
## **9.0 WINDOW STYLES (see attached)**

## **10.0 EGRESS WINDOW GUIDELINES (see attached)**

## 12 Main Types of Window Styles



**Single-Hung**



**Double-Hung**



**Casement**



**Awning**



**Garden**



**Sliding**



**Bay or Bow**



**Palladian**



**Picture**



**Arched**



**Egress**



**Skylight**

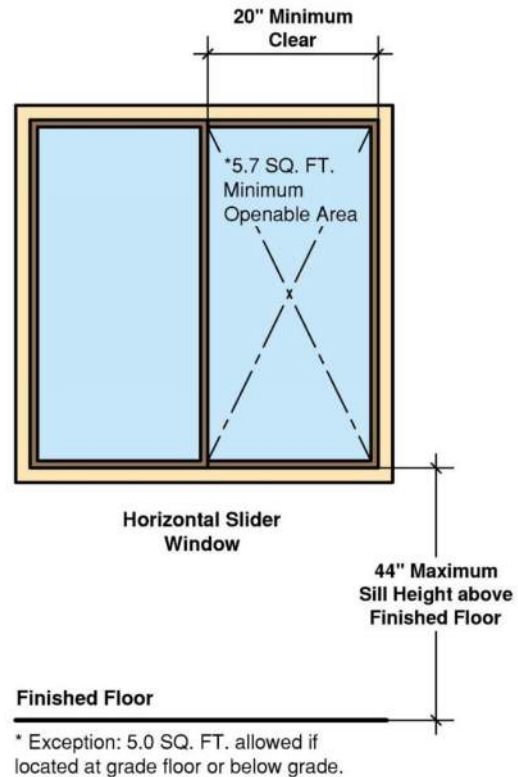
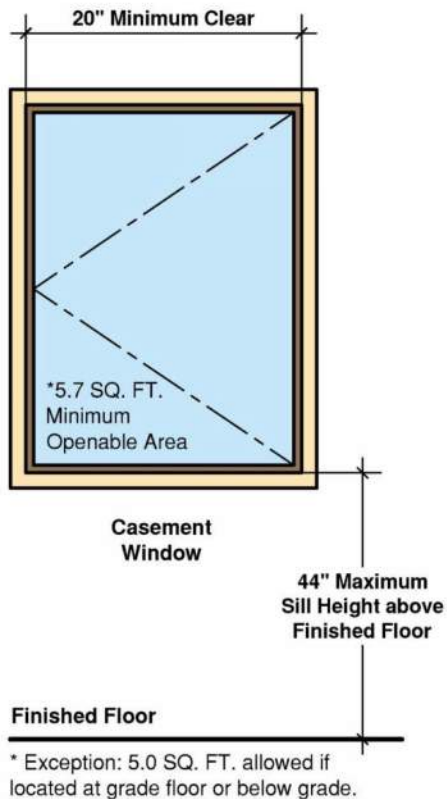
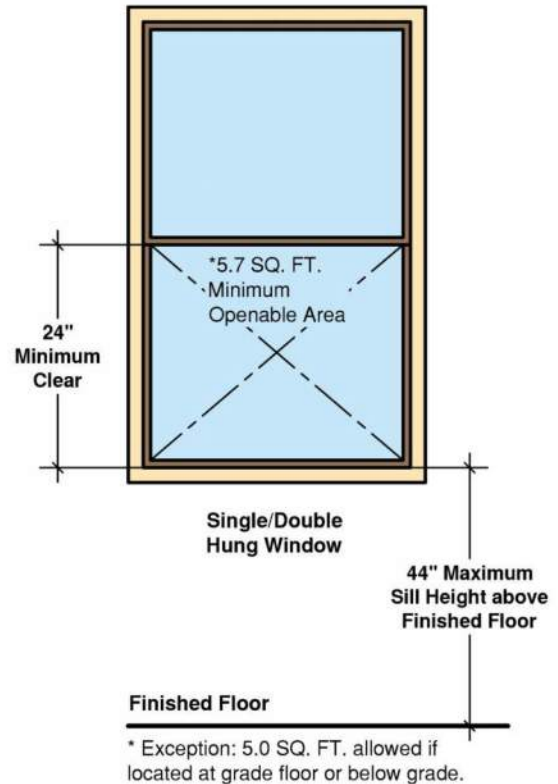
## SECTION 10.0 EGRESS WINDOW GUIDELINES

Egress Windows are required in all sleeping rooms.

Egress Window Size and Dimensions:

1. Minimum 5.7 square feet of net clear opening area.
2. Minimum 24 inches of net clear height opening.
3. Minimum 20 inches of net clear width opening.

**NOTE: THESE REMAIN SUBJECT TO CURRENT BUILDING CODES.**





**RESOLUTION 03-24-XX**

**REVISE STANDARD 34: WINDOWS AND WINDOW ATTACHMENTS**

**WHEREAS**, the Third Laguna Hills Mutual recognizes the need to amend standards and create new standards as necessary; and

**WHEREAS**, the Mutual recognized the need to revise Standard 34: Windows and Window Attachments;

**NOW THEREFORE BE IT RESOLVED**, [DATE], the Board of Directors of this Corporation hereby adopts revisions and amendments to Standard 34: Windows and Window Attachments as attached to the official minutes of this meeting; and

**RESOLVED FURTHER**, that Resolution 03-19-09 adopted January 15, 2019, is hereby superseded and canceled; and

**RESOLVED FURTHER**; that the officers and agents of this Corporation are hereby authorized on behalf of the Corporation to carry out this resolution.

**JULY INITIAL NOTIFICATION:** Should the Board endorse the proposed revisions, Staff recommends that a motion be made and seconded to accept the resolution and allow discussion to ensure that the resolution reads to the satisfaction of the Board. Staff then recommends that a Board Member postpones the resolution to the next available Board Meeting no less than 28-days from the postponement to comply with Civil Code §4360.