

OPEN MEETING

REGULAR MEETING OF THIRD LAGUNA HILLS MUTUAL ARCHITECTURAL CONTROL AND STANDARDS COMMITTEE*

Monday, July 08, 2024 – 1:30 p.m. Laguna Woods Village Board Room/Virtual Meeting 24351 El Toro Road, Laguna Woods, California

Laguna Woods Village owners/residents are welcome to participate in all open committee meetings and submit comments or questions virtually using one of the following options:

- 1. Join the committee meeting via a Zoom link at: https://us06web.zoom.us/j/93156707417 or by calling 669-900-6833 Webinar ID:93156707417.
- 2. Via email to meeting@vmsinc.org any time before the meeting is scheduled to begin or during the meeting. Please use the name of the committee in the subject line of the email. Your name and unit number must be included.

NOTICE AND AGENDA

This Meeting May Be Recorded

- 1. Call Meeting to Order
- 2. Approval of the Agenda
- 3. Approval of the Meeting Report for June 10, 2024
- 4. Remarks of the Chair
- 5. Member Comments (*Items Not on the Agenda*)
- 6. Response to Member Comments
- 7. Department Head Update
- 8. Consent Calendar: All matters listed under the Consent Calendar are considered routine and will be enacted by the Committee by one motion. In the event that an item is removed from the Consent Calendar by members of the Committee, such item(s) shall be the subject of further discussion and action by the Committee.
 - a. Over-The-Counter Variances None
- 9. Variance Requests
 - a. 5367-C Variance to Replace Window with Sliding Glass Door and Paver Patio on Common Area

Third Architectural Control and Standards Committee Regular Open Meeting July 08, 2024 Page 2 of 2

- 10. Items for Discussion and Consideration
 - a. Revision to Standard 18: Gutters and Downspouts
 - b. Revision to Standard 34: Windows & Window Attachments
 - c. Your Mutual Resale Fees At Work
- 11. Items for Future Agendas
 - Revision to Standard 11A: Flooring for Second and Third Floor Manors & the Elimination of the Third Laguna Hills Mutual Interior Hard-Surface Flooring Complaint Rules
 - b. Revision to Standard 22: Patio and Balcony Covers; Aluminum and Vinyl
 - c. Revision to Standard 29: Solariums
 - d. Revision to Standard: 37: Patio and Balcony Awnings & Covers
 - e. Revision to Standard 38: Patio Enclosures
 - f. Revision to Standard 39: Balcony Enclosures
 - g. Revision to Standard 41A: Solar Panels, 2 Story Buildings
 - h. Enact Standard 41C: Solar Panels, Carports and Patio Covers
- 12. Committee Member Comments
- 13. Date of Next Meeting: Monday, August 12, 2024 at 9:30 a.m.
- 14. Adjournment

*A quorum of the Third Board or more may also be present at the meeting.

Jim Cook, Chair Alan Grimshaw, Manor Alterations Manager Telephone: 949-597-4616



OPEN MEETING

REPORT OF THE REGULAR MEETING OF THIRD LAGUNA HILLS MUTUAL ARCHITECTURAL CONTROL AND STANDARDS COMMITTEE

Monday, June 10, 2024 – 1:30 p.m. Laguna Woods Village Board Room/Virtual Meeting 24351 El Toro Road, Laguna Woods, California

REPORT

COMMITTEE MEMBERS PRESENT: Jim Cook - Chair, Andy Ginocchio (Alternate for Reza

Karimi), Nathaniel Ira Lewis, Brad Rinehart, David

Veeneman, Advisors: Mike Butler, Lisa Mills

COMMITTEE MEMBERS ABSENT:

Reza Karimi (Excused), Mike Plean (Advisor-Excused)

OTHERS PRESENT:

S.K. Park

STAFF PRESENT:

Bart Mejia – Maintenance & Construction Assistant Director (In the Audience), Alan Grimshaw – Manor Alterations Manager, Gavin Fogg – Manor Alterations Supervisor, David Rudge – Inspector II, Josh Monroy

Manor Alterations Coordinator

1. Call Meeting to Order

Chair Cook called the meeting to order at 1:30 p.m.

2. Approval of the Agenda

The agenda was amended to include items 10b. Revision to Standard 41: Solar Panels, 1 Story Buildings and 10c. Revision to Standard 41A: Solar Panels, 2 Story Buildings as action items. 10f. was also added as a discussion, Variance Neighbor Awareness Notice.

Chair Cook asked for approval of the amended agenda.

Director Veeneman made a motion to approve the amended agenda. Director Ginocchio seconded.

Hearing no objection, the agenda was approved as amended.

Third Architectural Control and Standards Committee Report of the Regular Open Meeting June 10, 2024 Page 2 of 4

3. Approval of the Meeting Report for May 13, 2024

Chair Cook asked for approval of the meeting report.

Director Veeneman made a motion to approve the meeting report. Director Lewis seconded.

Hearing no objection, the meeting report was approved by unanimous consent as written.

4. Remarks of the Chair

None.

5. Member Comments - (Items Not on the Agenda)

None.

6. Response to Member Comments

None.

7. Department Head Update

None.

- 8. Consent Calendar: All matters listed under the Consent Calendar are considered routine and will be enacted by the Committee by one motion. In the event that an item is removed from the Consent Calendar by members of the Committee, such item(s) shall be the subject of further discussion and action by the Committee.
 - a. Over-The-Counter Variances Hearing no objection, the Over-The-Counter Variance report was approved by a vote of 4/0/1 (Chair Cook, recused).

2173-A: Request to Install Pavers on Common Area for Golf Car

Two-member comments were read.

3282-B: Request to Install Fence to Enclose Common Area at Entry

- 9. Variance Requests
- a. <u>2269-P: Variance to Install Acorn Stairlift in Common Area</u>

Chair Cook asked for approval of the variance.

Director Lewis made a motion to approve the variance. Director Veeneman seconded.

Hearing no objection, the variance to install an Acorn stairlift in Common Area was approved by

Third Architectural Control and Standards Committee Report of the Regular Open Meeting May 13, 2024 Page 3 of 4

unanimous consent.

10. Items for Discussion and Consideration

a. Revision to Standard 6: Block Walls

Chair Cook asked for approval of the revised standard.

Director Lewis made a motion to approve the revised standard. Director Rinehart seconded.

Hearing no objection, the motion to recommend the revised Standard 6: Block Walls was approved by unanimous consent.

Revision to Standard 41: Solar Panels, 1 Story Buildings

Chair Cook asked for approval of the revised standard.

Director Veeneman made a motion to approve the revised standard. Director Ginocchio seconded.

Hearing no objection, the motion to recommend the revised Standard 41: Solar Panels, 1 Story Buildings was approved by a vote of 4/0/1 (Director Lewis, abstained).

Revision to Standard 41A: Solar Panels, 2 Story Buildings

Chair Cook asked for approval of the revised standard.

Director Rinehart made a motion to approve the revised standard. Director Veeneman seconded.

Hearing no objection, the motion to recommend the revised Standard 41A: Solar Panels, 2 Story Buildings was approved by a vote of 4/0/1 (Director Lewis, abstained).

e. Discussion Ways to Get Information on Your Manor

The committee suggested that Resident Services email maintenance related information going forward. Manor Alterations will forward that request.

f. Discussion Variance Neighbor Awareness Notice

The committee suggested limiting the Neighbor Awareness Notice to manors within the same mutual, particularly adjoining properties.

11. Items for Future Agendas

- Revision to Standard 11A: Flooring for Second and Third Floor Manors & the Elimination of the Third Laguna Hills Mutual Interior Hard-Surface Flooring Complaint Rules
- Revision to Standard 18: Gutters and Downspouts

Third Architectural Control and Standards Committee Report of the Regular Open Meeting May 13, 2024 Page 4 of 4

- Revision to Standard 22: Patio and Balcony Covers; Aluminum and Vinyl
- Revision to Standard 34: Windows & Window Attachments
- Revision to Standard 37: Patio and Balcony Awnings & Covers
- Enact Standard 41C: Solar Panels, Carports and Patio Covers
- Revision to Variance Neighbor Awareness Notice

12. Committee Member Comments

- Chair Cook informed members to expect more information about the resale process via flyers, and The Village Breeze.
- 13. Date of Next Meeting: Monday, July 08, 2024 at 1:30 p.m.

14. Recess

The meeting was recessed at 2:35 p.m.

Jim Cook, Chair Alan Grimshaw, Manor Alterations Manager Telephone: 949-597-4616

Third ACSC - Monday, July 8, 2024 Variance Requests

Agenda Item #9	Manor Address	Description of Request	Summary of Request and Staff Recommendation (*)
			GENERAL NOTES:
٥	5367-C	Replace Window with Sliding Glass	 5367-C is one of three manors. Remove original 8'x8' patio wall and slab and replace with pavers
		Door and Paver Patio on Common	6'x12' and 11'-9" x 8' on Common Area
		Area	 Remove window and replace with sliding glass door in original
			opening
			 EURL required for use of Common Area
			Staff Recommendation: Approve

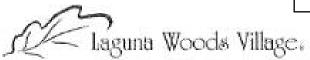
(*) The following attachments are included for your review and reference.

- Variance Request Form
 - Photos
- Location Map
 - Plan(s)
- Draft Conditions of Approval Draft Resolution
- 1 2 8 4 5 9



Manor 5367-C

Attachment 1
Application Form



MANOR #	
□ ULWM	□ TLHM

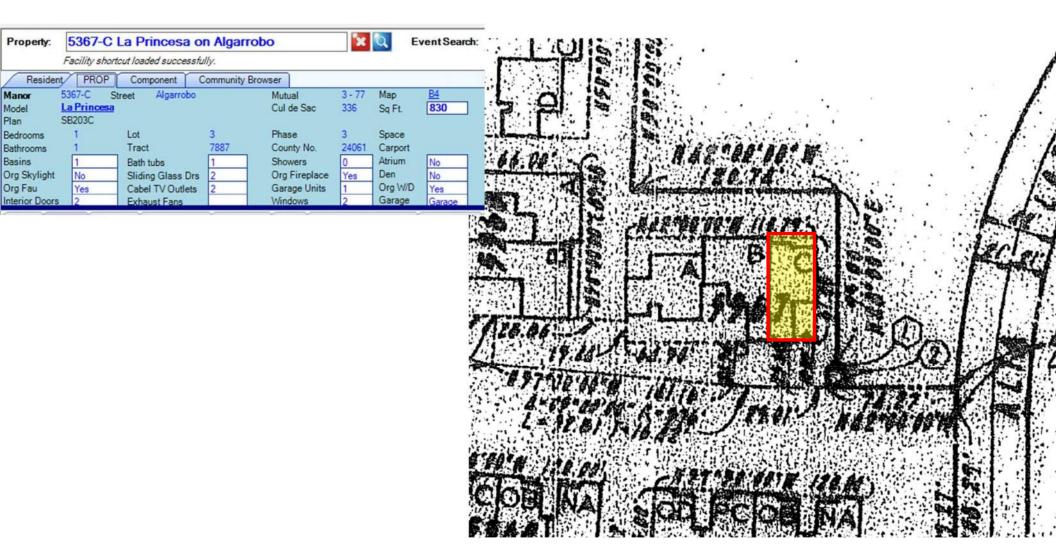
	G CLWM LITHM
Vai	riance Request Form sa
Model: P	Plan: LABRE & NCESSA Date: 8-18-23
Member Name:	Signature
Phono:	E-mail:
Contractor Name/Co:	Phone: 919 415-9056 SEE CORRALBUILDER
Owner Mailing Address: 307 A	igarrobo und a legum Words A 0
Description of Proposed Variance F	Request ONLY:
	s door and paver patio on common area
<u>G</u>	
N= F=: \- (: \	totales en in the fermion in the
Dimensions of Proposed Variance	Alterations ONLY: 22 FEET X 13 FEET
•	
	FOR OFFICE USE ONLY
RECEIVED BY:DATE	RECEIVED:BY:
Alteration Variance Request	Complete Submittal Cut Off Date:
Check Items Received:	Meetings Scheduled:
Drawing of Existing Floor Plan	Third AC&S Committee (TACSC):
□ Drawing of Proposed Variance	United M&C Committee:
□ Dimensions of Proposed Varian	nce
□ Before and After Pictures	Board Meeting:
n Other:	Denied Deproved

□ Tabled

Other

ATTACHMENT 2 PHOTOS

5367-C Tract 7887 Lot 3



ATTACHMENT 2 PHOTOS

5367-C Existing Exclusive Use Common Area 8'-0" x 8'-0" Patio



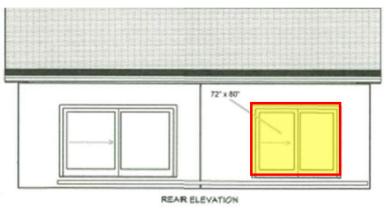
ATTACHMENT 2 PHOTOS

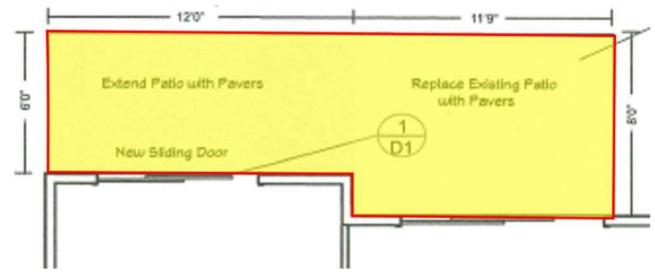
5367-C Proposed New Sliding Glass Door and Pavers



ATTACHMENT 2 PHOTOS

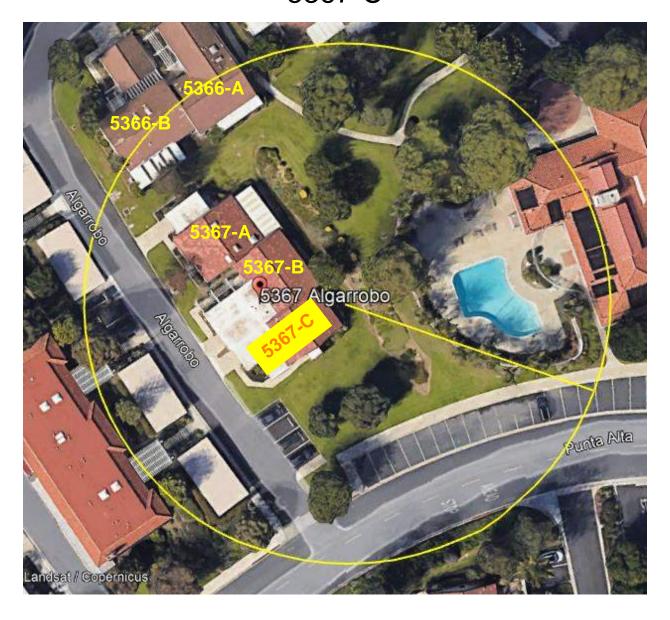
5367-C Proposed New 6'-0" x 6'-8" Sliding Glass Door and Pavers 12'-0"x6'-0" and 11'-9"x8'-0"

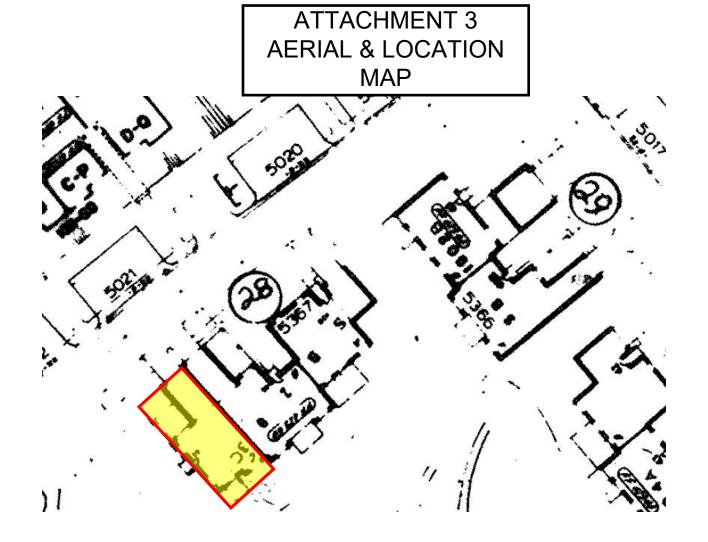




ATTACHMENT 3 AERIAL & LOCATION MAP

5367-C





PROJECT PARTICIPANTS

Attachment 4 Site Plans, Floor Plans

CORRAL BUILDERS

(949) 415-9056 LICENSE: 1067768 2316 LA LINDA PLACE **NEWPORT BEACH, 92660** **AGENT: JAMES STEVENS** (949) 364-0876 26352 MIRAR VISTA DRIVE MISSION VIEJO, 92692

BUILDING CODE DATA

5367 C ALGARROBO

NER: TIM SHELDON

LAGUNA WOODS, CA 92637

LAGUNA WOODS VILLAGE MUTUAL STANDARDS AND STANDARD

GOVERNING BODY

949) 239-5616

LAGUNA WOODS VILLAGE MANOR ALTERATIONS CITY OF LAGUNA WOODS BUILDING DEPARTMENT

APPLICABLE CODES

2022 CALIFORNIA RESIDENTIAL CODE 2022 CALIFORNIA MECHANICAL CODE 2022 CALIFORNIA ELECTRICAL CODE 2022 CALIFORNIA T24 ENERGY CONSERVATION REGULATIONS 2022 GREEN BUILDING STANDARDS CODE ALL LOCAL CODES, AMMENDMENTS, AND LAGUNA WOODS VILLAGE

CODES AND ORDINANCES PROJECT SCOPE

EXTEND PATIO TO END OF BEDROOM USING PAVERS REPLACE BEDROOM WINDOW WITH SAME-WIDTH SLIDING GLASS DOOR LEADING TO BACK PATIO.

GENERAL NOTES

TOWNHOME CONDOMINIUM OCCUPANCY: R2 CONSTRUCTION TYPE: V-B SPRINKLERED: NO NUMBER OF STORIES FOR BUILDING COMPLEX: 1 FLOOR LEVEL OF TENANT UNIT: 1
FLOOR AREA OF TENANT UNIT: 830 SQ FT

- 1. CONTRACTOR SHALL LOCATE ALL APPLICABLE UTILITIES AND PROTECT THEM FROM DAMAGE AS REQUIRED DURING CONSTRUCTION
- 2. THE DISCHARGE OF POLLUTANTS TO ANY STORM DRAIN IS PROHIBITED, NO SOLID WASTE, PETROLIUM BYPRODUCTS. SOIL, PARTICULATE, CONSTRUCTION WASTE, MATERIALS, OR WASTEWATER GENERATED ON CONSTRUCTION SITE OR BY CONSTRUCTION ACTIVITIES SHALL BE PLACED, CONVEYED. OR DISCHARGED INTO THE STREET, GUTTER, OR STORM DRAIN SYSTEM
- 3. SAFETY GLAZING OR TEMPERED GLASS IS REQUIRED IN HAZARDOUS LOCATIONS PER SECTION R30.
- 4. ANY NEW SMOKE OR CARBON DIOXIDE DETECTORS MUST HAVE A 10-YEAR BATTERY LIFE IN A SEALED UNIT
- 5. CONTRACTORS GUARANTEES ALL WORK
- 6. NO SUBSTITUTIONS SHALL BE MADE WITHOUT PRIOR APPROVAL OF PERMITS AND INSPECTION DEPARTMENT.
- 7. CONTRACTORS SHALL BE HELD RESPONSIBLE FOR KNOWLEDGE OF GENERAL INFORMATION NOT LISTED HERE AND ELSEWHERE IN THE DRAWINGS.
- 8. ALL PERMIT AND PLAN CHECK FEES SHALL BE TAKEN OUT BY THE RESIDENT OR CONTRACTOR.
- 9. INFORM THE PERMITS AND INSPECTIONS DEPARTMENT OF ANY DISCREPANCIES PRIOR TO STARTING WORK.
- 10. WHERE MANUFACTURERS' SPECIFICATIONS ARE CALLED FOR, THEY SHALL BE CONSIDERED PART OF DRAWINGS.
- 11. MEASUREMENTS HAVE PREFERENCE OVER SCALE. 12. CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS PRIOR TO AND DURING CONSTRUCTION
- 13. ALL CONSTRUCTION SHALL COMPLY WITH CURRENT WBDG STATE, AND LOCAL CODES
- 14. WHEN JOB COMPLETE, CONTRACTOR SHALL REMOVE ALL DEBRID FROM CONSTRUCTION SITE AND LEAVE AREA "BROOM CLEAN", CONTRACTOR WILL PROVIDE OWN TRASH BINS AND NOT USED MUTUAL TRASH BINS
- LIGHT AND VENTILATION REQUIREMENTS MASTER BEDROOM a. LIGHT REQ'S 8% OF 14.4 SQ FT
- b. VENTILATION REQ'D 4% OR 7.2 SQ FT

GENERAL NOTES, CONTINUED

- 15. TEMPORARY TOILETS SHALL BE PROVIDED BY LOCAL AUTHORITIES IF REQUIRED. BARRACADES, IF REQUIRED, SHALL CONFORM TO THE REQIREMENTS OF LOCAL AUTHORITIES. FOR SAFETY, THE PUBLIC SHALL BE PROTECTED AND SHEILDED FROM THE
- CONTRUCTION AND WORK SITE AT ALL TIMES 16. THE STRUCTURE IS A DESIGNED AND STABLE UNIT AFTER ALL COMPONENTS ARE IN PLACE, THEREFORE CONTRACTOR SHALL PROVIDE SHORING AND BRACING REQUIRED TO ENSURE STABILITY OF PARTS DURING CONSTRUCTION
- 17. ALL WORK PERFORMED TO BEST STANDARDS OF PRACTICE AND ALL DAMAGED WORK SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE
- 18. ALL METERIAL SHALL BE STANDARD GRADE OR BETTER UNLESS OTHERWISE NOTED
- DEMOLISH EXISTING BACK PATIO AND REPLACE WITH PAVERS. 19 NO WORK SHALL COMMENSE PRIOR TO 7:00 AM OR AFTER 5:00 PM MONDAY THROUGH FRIDAY, SATURDAY WORK SHALL BE HELD AT A MINIMUM, AND NO WORK ON SUNDAY
 - 20. LUMBER GRADE IS REGULATED BY STANDARD PLAN, ANY DISCREPANCIES TO BE DETERMINED BY PERMITS AND INSPECTIONS DEPARTMENT
 - 21. ALL LUMBER ATTACHED TO MASONRY, CONCRETE, AND STUCCO SHALL BE PRESSURE TREATED R502.1.1.1 LUMBER, AND PLYWOOD REQUIRED TO BE PRESSURE-PRESERVATIVE TREATED IN ACCORDANCE WITH R317.2.1
 - a. REQUIRED INFORMATION:
 - IDENTIFICATION OF TREATING PLANT
 - TYPE OF PRESERVATIVE
 - MINIMUM PRESERVATIVE RETENTION
 - iv. END USE FOR WHICH THE PRODUCT WAS TREATED
 - STANDARD TO WHICH THE PRODUCT WAS TREATED
 - IDENTITY OF APPROVED INSPECTION AGENCY vii. THE DESIGNATION "DRY" IF APPLICABLE
 - 22. R317.3.1 FASTENERS FOR PRESERVATIVE-TREATED WOOD. INCLUDING NUTS AND WASHERS, SHALL BE HOT-DIPPED, ZINC-COATED. GALVENIZED STEEL, SILICON BRONZE, COPPER, AND NOT LESS THAN ASTM A653 TYPE G185 ZINC COATED GALVENIZED STEEL OR EQUIVALENT, SHALL BE
 - 23. ALL LUMBER ATTACHED TO MASONRY, CONCRETE, AND STUCCO SHALL BE PRESSURE TREATED R502 1.1.1 LUMBER. AND PLYWOOD REQUIRED TO BE PRESSURE-PRESERVATIVE TREATED IN ACCORDANCE WITH R317.2.1
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 - v. STANDARD TO WHICH THE PRODUCT WAS TREATED vi. IDENTITY OF APPROVED INSPECTION AGENCY
 - vii. THE DESIGNATION "DRY" IF APPLICABLE
 - 24. R317.3.1 FASTENERS FOR PRESERVATIVE-TREATED WOOD, INCLUDING NUTS AND WASHERS, SHALL BE HOT-DIPPED, ZINC-COATED, GALVENIZED STEEL, SILICON BRONZE, COPPER, AND NOT LESS THAN ASTM A653 TYPE G185 ZINC COATED GALVENIZED STEEL OR EQUIVALENT, SHALL BE
 - 25. CSC110.3.8.1 ALL ELEMENTS OF THE IMPERVIOUS MOISTURE BARRIER SYSTEM PROTECTING THE STRUCTURE SHALL PROVIDE DRAINING OF WATER THAT INFILTRATES THE MOISTURE IMPERMEABLE ROOF AND SHALL NOT BE CONCEALED UNTIL INSPECTED AND APPROVED BY THE CITY INSPECTOR OR DEPUTY INSPECTOR
 - 26. MANUFACTURER'S INSTALLATION SPECIFICATIONS MANUAL SHALL BE ON JOBSITE AT ALL TIMES
 - 27. R507.2.4 FLASHING SHALL BE PAINTABLE CORROSION-RESISTENT METAL OF NOMINAL THICKNESS NOT LESS THAN 0.019 IN OR APPROVED PAINTABLE, NON-METALLIC MATERIAL THAT IS COMPATIBLE WITH THE SUBSTRATE MATERIAL OF THE STRUCTURE

GENERAL NOTES, CONTINUED

- 28. PAINTING REQUIREMENTS FOR ALL WOOD EXPOSED TO ENVIRONMENT SHALL BE PROTECTED ON ALL SIX SIDES IN THE FOLLOWING MANNER REFORE FASTENING IN PLACE:
 - a. CAULK ALL FLASHING AND JOINTS FOR GAPS 1/8" OR LESS AROUND DOORS AND WINDOWS
 - b. LIGHTLY SAND ROUGH OR FUZZED AREAS BY HAND c. APPLY ONE COAT PRIMER USING BEST METHOD FOR APPLICATION, FINISH BY BRUSH
 - d. APPLY TWO COATS FINISH PAINT USING BEST METHOD. FINISH BY BRUSH
 - e. ENSURE FULL COVERGAE AND UNIFORM COLOR BY APPLYING ADDITIONAL COATS AS NECESSARY
- 29. STOP PATIO DRAIN AND OUTLET WITH ABS PLASTIC PLUGS
- 30. EMERGENCY ESCAPE AND RESCUE: BASEMENTS, HABITABLE HABITABLE ATTICS AND EVERY SLEEPING ROOM SHALL HAVE A DOOR DIRECTLY TO THE EXTERIOR OR A WINDOW THAT WILL PROVIDE A CLEAR SPACE OPENING OF AT LEAST 5.7 SQ FT IN THE OPEN POSITION (5 SQ FT AT GRADE FLOOR OPENINGS), AND A MINIMUM CLEAR OPENING WIDTH OF 20 INCHES AND CLEAR OPENING HEIGHT OF 24 INCHES AND THE SILL HEIGHT SHALL BE MAXIMUM 44" ABOVE THE FLOOR. THE REQUIRED OPENINGS SHALL OPEN DIRECTLY INTO A PUBLIC WAY, OR TO A YARD OR COURT THAT LEADS TO A PUBLIC WAY. [R310 CRC]
- 31.THIS PROJECT SHALL COMPLY WITH TITLE 24 AND 2022 CALIFORNIA RESIDENTIAL CODE (CRC), CALIFORNIA MECHANICAL CODE (CMC), CALIFORNIA PLUMBING CODE (CPC), CALIFORNIA ELECTRICAL CODE (CEC), CALIFORNIA GREEN BUILDING STANDARDS CODE (CGBSC), AND CALIFORNIA ENERGY CODE (CEnC). [R106.1.1 CRC]
- 32 ANY WORK REQUIRING MORE THAN \$500 WORTH OF MATERIAL AND LABOR COSTS SHALL BE PERFORMED BY A CALIFORNIA LICENSED CONTRACTOR FOR EACH TRADE AS REQUIRED.
- 33. THE WIDTH OF THE WINDOE SHALL BE THE SAME WIDTH OF THE PROPOSED SLIDING GLASS DOOR AND THE TOP OF THE WINDOW HEIGHT SHALL BE THE SAME AS THE TOP OF THE SLIDING GLASS DOOR HEIGHT.
- 34. SLIDING GLASS DOOR FRAME SHALL NE CONSTRUCTED OF WHITE 35. WINDOW GLASS SHALL BE TEMPERED GLASS AND CLEAR AND
- COMPLIANT WITH UNIFORM BUILDING CODE

SHT #	SHEET NAME					
T1	TITLE / GENERAL NOTES			T		
A1	EXISTING PLAN	П				Г
A2	PROPOSED	П				
D1	DETAILS					
G1	GREEN BUILDING NOTES					
G2	GREEN BUILDING NOTES, 2	П				
			_			
		Ц				L
		IT	T			

SHEET INDEX

В.	ANCHOR BOLT	LSL	LAMINATED STRAND LUMBER
RCH'L	ARCHITECTURAL DRAWINGS	LVL	LAMINATED VENEER LUMBER
BLDG	BUILDING	MFR	MANUFACTURED
BLK	BLOCK	N.T.S.	NOT TO SCALE
BLK'G	BLOCKING	0/	OVER
BM ME	BEAM	0.0,	ON CENTER
CANT'L	CANTILEVERED	OPT'L	OPTIONAL
C.L	CENTER LINE	0.S.B.	ORIENTED STRAND BOARD
LG	CEILING	PSL	PARALLEL STRAND LUMBER
CMU	CONCRETE MASONRY UNIT	PL	PLATE
COL	COLUMN	REQ'D	REQUIRED
CONT	CONTINUOUS	SHTH'G	SHEATHING
DBL	DOUBLE	SHT	SHEET
DTL	DETAIL	SIM	SIMILAR
(E)	EXISTING	STL	STEEL
EL.	ELEVATION	SW	STRONG-WALL
EOR	ENGINEER OF RECORD	T,0.F.	TOP OF FOOTING
FND	FOUNDATION	F.O.W.	TOP OF WALL
FTG	FOOTING	T&B	TOP AND BOTTOM
GL.	GLUE LAMINATED (BEAM)	TYP.	TYPICAL
HDR	HEADER	U.N.O.	UNLESS NOTED OTHERWISE
HORIZ.	HORIZONTAL	VERT.	VERTICAL
H.D.	HOLD DOWN	w/	WITH

VICINITY MAP

FIRE NOTES

- F1. SMOKE ALARMS SHALL BE PROVIDED THROUGHOUT HABITABLE AREAS OF THE DWELLING UNIT IN EACH BEDROOM AND HALLWAY. SMOKE ALARMS SHALL BE HARD-WIRED AND INTERCONNECTED. [R335.5.2]
- F2. REQUIRED CARBON MONOXIDE ALARMS SHALL BE INSTALLED IN THE FOLLOWING LOCATIONS OUTSIDE EACH SEPARATE SLEEPING OF A DWELLING UNIT INCLUDING BASEMENTS. IN EACH AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS. ON EVERY LEVEL BEDROOM AND/OR WHERE A FUEL-BURNING APPLIANCE IS LOCATED WITHIN THE BEDROOM OR ITS ATTACHED BATHROOM, [R315.3 CRC]
- F3. SMOKE ALARMS SHALL BE INSTALLED NOT LESS THAN 3 FEET HORIZONTALLY FROM THE DOOR OR OPENING OF A BATHROOM THAT CONTAINS A BATHTUB OR SHOWER UNLESS THIS WOULD PREVENT PLACEMENT OF A SMOKE ALARM REQUIRED BY [R314.3].

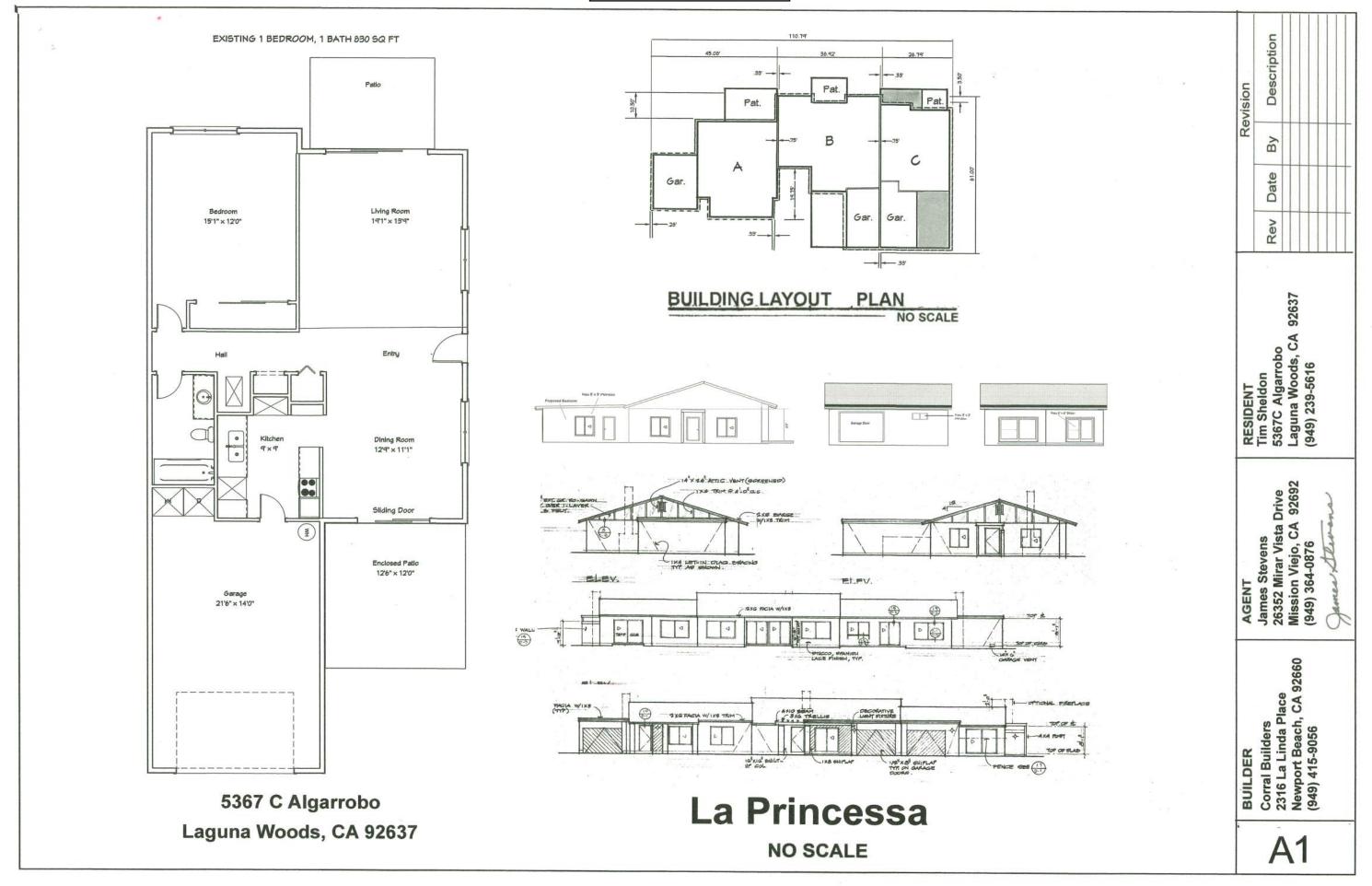
Description By Date Re

92637 RESIDENT
Tim Sheldon
5367C Algarrobo
Laguna Woods, CA (949) 239-5616

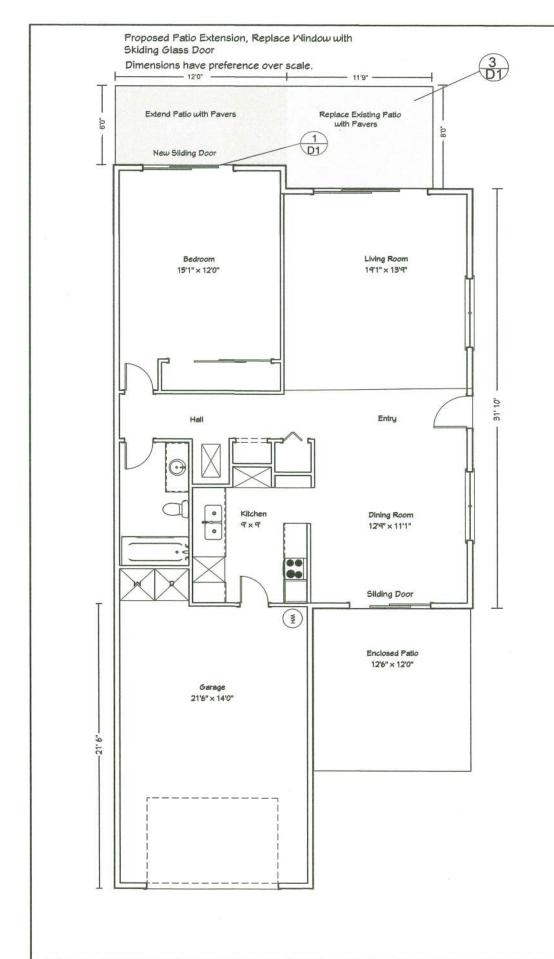
> Drive 92692 James Stevens 26352 Mirar Vista D Mission Viejo, CA (949) 364-0876

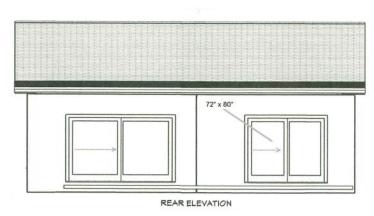
Corral Builders 2316 La Linda Place Newport Beach, CA 9 (949) 415-9056

Attachment 4
Site Plans, Floor Plans



Attachment 4 Site Plans, Floor Plans





Patio Paver Specifications

alore SKD # 1004303333			
Specifications Dimensions: H 2.38 in, W 3.94 in, L 7	87 et		
Dimensions			
Froduct Height (in.)	2.55 in	Product Length (in.)	7.87 vs
Product Width (in.)	3.94 in		
Details			
Color Family	Multi-Colored	Color/Finish	3 - Tone Brown
Features	Cuttable, Textured	Landscape Supply Type	Paver
Material	Concrete	Package Quantity	
Packaging Type	Patlet	Paver Resistance	Fire Resistant, Freeze Resistant, Rust Resistant, Slip Resistant

Pathway, Patio, Pool

Sliding Door Specifications

5.7 lb

79.5 in

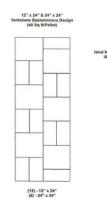
Specification

Actual Door Width (in.)	71.5 in	Door Height (in.)	80 in
Door Thickness (in.)	4.583 in	Door Width (in.)	72 in
Nominal Door Height (in.)	80 in	Nominal Door Thickness (in.)	5 in
Nominal Door Width (in.)	72 in	Rough Opening Height (in.)	80 in
Rough Opening Width (in.)	72 in		
Details			
Bore Type	No Bore	Color Family	White
Color/Finish	White	Core Type	Solid Core
Door Configuration	Single Door	Door Glass Insulation	Low-E, Tempered
Door Handing	Left-Hand/Slide	Door Type	Siding Patio Door
Features	Argon Filled Glass	Finish Type	Finished
Frame Material	Virgi	Hinge Type	No Hinge
Included	Handle Set, Instructions, Screen	Material	Vinyl
Number of Lites	1 Lite	Product Weight (lb.)	198 lb

Actual Door Thickness (in.)

Patio Pavers Notes

- All proposed locations and areas directly connected with proposed locations will be reviewed by Manor Alterations in the plan review process for conformance to existing guidelines. A site inspection may be required prior to approval.
- YMS Landscape Services to be notified prior to excavation to locate all irrigation components in the vicinity of the work. All irrigation relocations shall be performed by YMS staff. Member is responsible for any and all YMS Landscape Services irrigation relocation costs.
- and Landscape Services impairon relocation costs.
 Interlocking paver installations must use treated wood, redwood, or plastic edging if required by manufacturer. Edging shall be secured in place per manufacturer's specifications. Edging not required when abutting to walls or concrete slabs or walkways.
- 4. Interlocking paver installations must use a "Class 2" subbase of a minimum of 4 inches deep and must use a coarse sand layer of a minimum of 1 inch thick as bedding for pavers. Paved area must be compacted with a vibrating flat plate or hand tamper to lock pavers into place.
- Pavers may be 7/8 of an inch to one inch thick if overlaid on an existing concrete slab. Otherwise pavers must be a minimum of 2 3/8-inches thick.
- 6. Patio slab extensions shall not encroach into common area.
- Paver extensions shall not encroach into common area unless a variance is granted.



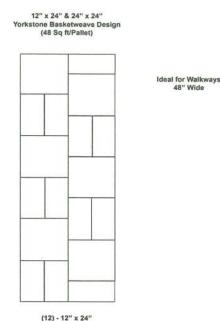
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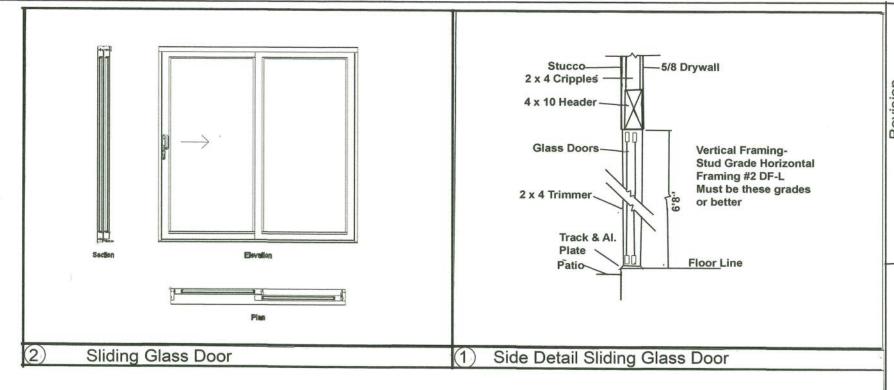
re S367C Algarrobo 5367C Algarrobo Laguna Woods, CA 926 (949) 239-5616

AGENT James Stevens 26352 Mirar Vista Drive Mission Viejo, CA 92692 (949) 364-0876

BUILDER
Corral Builders
2316 La Linda Place
Newport Beach, CA 92660
(949) 415-9056

A2





Paver Installation Guide

(6) - 24" x 24"



Nantuc et Pavers, Inc. INSTALLATION GUIDE his step is critical to a successful paver project! It is essential to follow the correct procedure or base installation, without rushing, in order to avoid serious problems with your finished

Start by using the correct base material, which should be a coarse gravel with a proportioned gradation of sand & stone. 3/4" Processed Gravel or Crusher Run is suggested.

Nantucket Pavers

Step

Compaction describes the process of mechanically increasing the density of the soil & base material.

Compaction describes the process of mechanically increasing the density of the soil & base material.
There are there keys to compacting an adequate haste:

1. The Method of Compaction. A rested plate compactor that runs between 75 to 90 hertz will help you achieve excellent compaction. Hand Tampers will suffice for very small areas and are good for corners and other tight spots, which need special attention to receive the same compaction rate as the rest of the area.

2. The moisture content of the base material or soil. Soils compact better when they contain the right amount of moisture. If Tyou squeeze a handful of soil dit is trains it's abage when you open your hand, it probably has an adequate moisture content. If not, you must keep the material at slightly damp while compacting. If the surface starts to puddle or sweet while you are compacting, he material is not were difficult to the surface of the surface starts of the surface starts to puddle or sweet while you are compacting, he material in 18th? we report to the surface start in the surface starts in a maximum of 3" to 4" layers. (If using a hand tamper only, layer on more than 2" at a time.) Make sure each layer is evenly and thoroughly compacted before spreading the next one. Check elevations and surface fairness frequently and use only base material to correct low spots, making sure to thoroughly compact any additions before moving on.

When proper compaction has been achieved, the surface to prevent the bedding sand from migrating down.

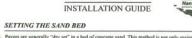


EDGE RESTRAINTS

Unless the pavers are butting against existing curbs or a foundation, it is important to install edge restraints around the entire perimeter. This keeps the pavers in position and prevents them from speeding or loconeming. Various types of edging materials can be used. Flexible plattee degling, which is easy to install & will not rot or too. It perfect for circles or curves. When you need to restrain a straight line of pavex, it is best use rigid lengths of edging.

Place it directly on the compacted base & secure it by driving 10° stakes into the pre-drilled holes every 2 feet. (You may have to purchase extra stakes for the suggested placement.) Be sure that all square comers are exactly 90 degrees. It's that simple!





Pavers are generally "dry set" in a bed of concrete sand. This method is not only easier and neater han others, it also allows for simple paver repairs or replacements - just pop up the damaged piece and replace with a new one! The biggest technical advantage of a sand bed installation method is the finished pavement flexibility and load expansion capabilities.

The finished sand bed must be between 1" to 1-1/2" deep.

Screeding
The bed of sand must be leveled so that it is an even 1" or 1-1/2" depth. This leveling process is called screeding Start by laying 1" to 1-1/2" diameter steel pipes ("Screed Rails") on the compacted base about 6' to 8' apart and parallel. At this point, check that the top of the pipes are: 1-1/2" below the finished elevation

Pack a small amount of sand around the pipes to hold them in place. (You can also use spikes to to note them in piace. (Tou carn also uses spikes to keep them from crolling apart.)

Cover the pipes & the area in between with sand. Level the sand by drawing the screed board along the top of the pipes with a backward motion. (Pulling toward you.)

If room permits, simply slide the pipes backward or move one to the other side in an adjacent area. Repeat mocedule.

Report procedure.
The voids left by the pipes need to be filled with sand and carefully hand floated with a trovel.
Never screed more bedding soud than you will cover in a day.
Do not disturb, walk on or compact sand in any way before laying the pass

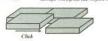
A few notes before laying the pavers

Nantucket Pavers INSTALLATION GUIDE



LAYING All concrete pavers are made to perfectly interlock when placed along a straight line. Therefore, it is essential that you begin laying your pavers from a perfect 90 degree angle, preferably from one of the corners. Do not assume that all corners, even pre-existing building contens, are 90 degree. Check! Once this is established, a series of strings or enapped chalk every 5 or 6 feet will help keep you in line. Think gravity and start at the lowest gound first.

Always work from the surface that has already been paved, loaving the building sand undistanted.



Click and Drop

When you lay the pavers, the best way to maintain consistent joint spacing and a near postern is to use the "Click and Drop." Method. After the first few pavers have been bid to establish the postern and 90 degree angle, grasp the next paver by the top 1/2" (os shown). Slide through the air horizontally, toward it's proper resting spot, about a 1/2" below the top of the laid paver. Let the long degle just apside of the heliaf paver. When you hear the click of the pavers tapping, drop it in place.

If you are using a border course, lay the main field pavers first, marking out and leaving adequate space for the border. You can over-lay the main field a bit if the spacing is questionable. Then, begin laying down the border course, cutting the field pavers to fit inside! if secessing.



COMPACT & JOINT SAND

When all pavers are laid and you are satisfied with placement, pattern and fit, it is time to compact the pavers into the bedding sand. Compaction evens the top surface of your pavement and starts the interfect process by forcing and up through the joinst. Do NOT use swarp plate compacter to set these patio blockal You must use a rubber mallet to tame the blocks down into the beddine sand. Be sure all patio blocks have been properly unused down and compacted into place, one coding of the pavement and compact the perimeter first. Then, up back and forth through the main field.

Do not comment any newer, that are within 15 feet of any uncertained often.

After initial compaction (with a rubber mallet), you are ready to begin filling the joints with polymerie sand. Spread some DRY polymerie sand over the top of your pavers. With a stiff triviale post-breom, begin sweeping the said abound the pavers and into the joints using a pull-pill pound medico. When joints are full, sweep off excess sand or use a leaf blower to remove small particula from the top of the blocks. Follow the manufacturer instructions on the polymerie sand container. Most likely the last step is to use a gentle sprey from a garden borse to activate the Polymeric sand. Activating the Polymeric Sand will make it harden in the gaps like groot



Although it is not necessary to seal pavers, scaler intensifies the color and protects your pavers from stains, ensuring a beautiful surface for away years. Cleaning & sealing can also restore the original appearance of raw pavers that have been exposed to did it & wear over time. Deats talk to your asless representative about these products. Nantucket Pavers recommends a Water Based Scaler and be sure to test an extra block you may have or a comer of one block first, let day and se if you like the look of the sealer prior to sealing the entire patio.

Sealer can not be removed once applied.

Description By Rev

92637 RESIDENT Tim Sheldon 5367C Algarrobo Laguna Woods, CA (

AGENT James Stevens 26352 Mirar Vista Drive Mission Viejo, CA 92692 (949) 364-0876

BUILDER Corral Builders 2316 La Linda Place Newport Beach, CA 92660 (949) 415-9056



DISCLAIMER: THIS DOCUMENT IS PROVIDED AND INTENDED TO BE USED AS A MEANS TO INDICATE AREAS OF COMPLIANCE WITH THE CALIFORNIA GREEN BUILDING STAND

California 2022 CALIFORNIA GREEN BUILDING STANDARDS CODE

RESIDENTIAL MANDATORY MEASURES, SHEET 1 (January 2023) NIA NOT APPLICABLE
RESPON. PARTY RESPONSES PARTY (N: ARCHITECT, ENGINEER, OWNER, CONTRACTOR, INSPECTOR ETC.) Exception: A raceway is not required if a minimum 40-simplere 209/240-voit dedicated EV brainsh clients installed in close proximity to the location of the proposed location of the EV space at the time of original construction in accordance with the California Electrical Code. Y MA RESPON. PARTY CHAPTER 3 4.196.4.2 New multifamily dwellings, hotels and motels and new residential parking facilities. When parking is provided, parking spaces for new multifamily dwellings, hotels and motes shall meet the requirement of Sections 4.196.4.2 and 4.106.4.2.2. Calculations of the sections 4.196.4.2 and 4.106.4.2.2. Calculations of the sections 4.196.4.2 and 4.106.4.2.2. Calculations of the sections 4.196.4.2 and 4.106.4.2.2 calculations of the sections of the sectio GREEN BUILDING 4.304 OUTDOOR WATER USE
4.304 1 OUTDOOR POTABLE WATER USE IN LANDSCAPE AREAS. Residential developments shall comply with
social water effortien landscape ordinance or the current California Department of Water Resources' Model Water
Efficient Landscape Ordinance (MWELO), whichever is more stringent. 4.108.4.2.4 Identification.
The service panel or subpanel circuit directory shall identify the overcurrent protective device space(s) resetuture EV charging purposes as "EV CAPABLE" in accordance with the California Electrical Code. SECTION 301 GENERAL 301.1 SCOPE. Buildings shall be designed to include the green building measures specified as mandatory in the application checklists contained in this code. Voluntary green building measures are also included in this application checklists and may be included in the design and construction of structures covered by this code but are not required unless adopted by a city, county, or city and county as specified in Section 101.7. 4.106.4.2.5 Electric Vehicle Ready Space Signage.
Electric vehicle ready spaces shall be identified by signage or pavement markings, in compliance with Calirans Traffic Operations Policy Discretive 13-01 (Zero Emission Vehicle Signs and Pavement Markings) or its 4.106.4.2.1 Multifamily development projects with less than 20 dwelling units; and hotels and motels with less than 20 sleeping units or guest reoms.
The number of dwelling units, leeping units or guest rooms shall be based on all buildings on a project site subject to The Model Water Efficient Landscape Ordinance (MWELO) is located in the California Code Regulations, Title 23, Chapter 27, Division 2, MWELO and supporting documents, including water budget calculator, are available at https://www.water.ca.gov/ 301.1.1 Additions and alterations. [HCD] The mandatory provisions of Chapter 4 shall be applied to additions or alterations of existing residential buildings where the addition or alteration increases the building's confibroned area, volume, or size. The requirements shall apply only to and/or within the specific area of the addition or alteration. m stiffamily buildings.

When new parting facilities are added, or electrical systems or lighting of existing parting facilities are added or altered and the work requires a building permit, ten (10) percent of the total number of parting spaces added or altered and the work requires a building permit, ten (10) percent of the total number of parting spaces added or altered shall be electric which charging spaces (EV spaces) capable of supporting future Level 2 EV. DIVISION 4.4 MATERIAL CONSERVATION AND RESOURCE 1.EV Capable. Ten (10) percent of the total number of parking spaces on a building site, provided for all types of parking facilities, shall be electric vehicle charging spaces (EV spaces) capable of supporting future Level 2 EVSE. Electrical load calculations shall demonstrate that the electrical panel service capacity and electrical system, including any on-site distribution transformer(s), have sufficient capacity to simultaneously charge all EVs at all required EV spaces at a minimum of 40 anyprees. The mandatory provision of Section 4.106.4.2 may apply to additions or alterations of existing parking facilities or the addition of new parking facilities serving existing multifamily buildings. See Section 4.106.4.3 for application. EFFICIENCY 4.406 ENHANCED DURABILITY AND REDUCED MAINTENANCE Date 6.1 RODENT PROOFING. Annular spaces around pipes, electric cables, conclude or other openings in solebottom plates at exterior walls shall be protected against the passage of rodents by closing such openings with exement moster, concrete measure or a similar method acceptable to the enforcing Note: Repairs including, but not limited to, resurfacing, restriping and repairing or maintaining existing lighting fixtures are not considered alterations for the purpose of this section. Note: On and after January 1, 2014, residential buildings undergoing permitted alteretions, additions, improvements shall replace noncompliant journibing focuses with water-conserving plumbing focuses. Plumbing factor replacement is required prior to issuance of a certificate of final completion, certificate of plumbing focus to the propriet of the 2. There is no rec 4.408 CONSTRUCTION WASTE REDUCTION, DISPOSAL AND RECYCLING
4.408.1 CONSTRUCTION WASTE MANAGEMENT. Recycle and/or salvage for reuse a minimum of 65
percent of the non-hazardous construction and demollition waste in accordance with either Section
4.408.2, 4.408.3 or 4.408.4, or meet a more stringent local construction and demollition waste DIVISION 4.2 ENERGY EFFICIENCY When EV chargers (Level 2 EVSE) are installed in a number equal to or greater than the required number of EV capable spaces. Rev oses of mandatory energy efficiency standards in this code, the California Energy 301.2 LOW-RISE AND HIGH-RISE RESIDENTIAL BUILDINGS. [HCD] The provision DIVISION 4.3 WATER EFFICIENCY AND CONSERVATION Excavated soil and land-clearing debris.
 Alternate waste reduction methods developed by working with local agencies if diversion or recycle facilities capable of compliance with this item do not exist or are not located reasonably close to the jobsite.
 The enforcing agency may make exceptions to the requirements of this section when isolated jobeltes are located in areas beyond the haul boundaries of the diversion facility. 4.303 INDOOR WATER USE 4.303.1 WATER CONSERVINO FLUMBING FXTURES AND FITTINGS. Plumbing fixtures (water closests and unitals) and fittings (raucets and showerheads) shall comply with the sections 4.303.1.1, 4.303.1.2, 4.302.1.3, and 4.303.4. a. Construction documents are intended to demonstrate the project's capability and capacity for facilitating future EV charging. SECTION 302 MIXED OCCUPANCY BUILDINGS b. There is no requirement for EV spaces to be constructed or available until receptacles for EV charging of EV chargers are installed for use. Note: All noncompliant plumbing fedures in any residential real property shall be replaced with water-conserving plumbing fixtures. Plumbing fixture replacement is required prior to issuance of a certificate of final completion, certificate of occupancy, or final permit approved by the local building department. See Civil Code Section 1101.1, et seq., for the definition of a noncompliant plumbing fixture, types of residential buildings affected and other important enachment dates. 4.408.2 CONSTRUCTION WASTE MANAGEMENT PLAN. Submit a construction waste management plan in conformance with Items 1 through 5. The construction waste management plan shall be updated as necessary and shall be available during construction for examination by the enforcing agent. 302.1 MIXED OCCUPANCY BUILDINGS. In mixed occupancy buildings, each portion of a building shall comply with the specific green building measures applicable to each specific occupancy. 2.EV Ready. Twenty-five (25) percent of the total number of parking spaces shall be equipped with low power Level 2 EV charging receptacles. For multifamily parking facilities, no more than one receptacle is required per detelling unit when more than one parking space is provided for use by a single develling unit. Identify the construction and demolition waste materials to be diverted from disposal by recycling, reuse on the project or salvage for future use or sale. Specify if constructions and demolition waste materials will be sorted on-site (source separated) or but mixed (single stream). Identify diversin facilities where the construction and demolition waste material collected will be taken. Identify construction methods employed to reduce the amount of construction and demolition waste pltions:

I, [HCD] Accessory structures and accessory occupancies serving residential buildings shall comply with Chapter 4 and Appendix A4, as applicable.

2. [HCD] For purposes of CALE(ener, Network units, complying with Section 419 of the California Building Code, shall not be considered mixed occupancies. Live/Work units shall comply with Chapter 4 and Appendix A4, as applicable. 4.303.1.1 Water Closets. The effective flush volume of all water closets shall not exceed 1.26 gallons per flush. Tank-type water closets shall be cartified to the performance criteria of the U.S. EPA WaterSense Specification for Tank-type Tolets. 4.106.4.2.2 Multifamily development projects with 20 or more dwelling units, hotels and motels with 20 or mon sleeping units or guest rooms.
The number of dwelling units, sleeping units or guest rooms shall be based on all buildings on a project site subject to RESIDENT
Tim Sheldon
5367C Algarrobo
Laguna Woods, CA (949) 239-5616 DIVISION 4.1 PLANNING AND DESIGN Note: The effective flush volume of dual flush toilets is defined as the composite, average flush volume of two reduced flushes and one full flush. generated.

Specify that the amount of construction and demolition waste materials diverted shall be calculated by weight or volume, but not by both. ABBREVIATION DEFINITIONS: 1.EV Capable. Ten (10) percent of the total number of parking spaces on a building sile, provided for all types of parking facilities, shall be electric vehicle charging spaces (EV spaces) capable of supporting further. Level 2. EVSE. Electrical load calculations shall demonstrate that the electrical panel service capacity and electrical system, racturing any on-site distribution transformer(s), have sufficient capacity to simultaneously charge all EVs at all required EV spaces at a minimum of 40 ampriers. 4.408.3 WASTE MANAGEMENT COMPANY. Utilize a waste management company, approve enforcing agency, which can provide verifiable documentation that the percentage of const demolition waste material diverted from the landfill complies with Socion 4.408.1, 4.303.1.3.1 Single Showerhead. Showerheads shall have a maximum flow rate of not more than 1.8 gallons per minute at 80 psi. Showerheads shall be certified to the performance criteria of the U.S. EPA WaterSense Specification for Showerheads. Note: The owner or contractor may make the determination if the construction and demoition waste materials will be diverted by a waste management company, .408.4 WASTE STREAM REDUCTION ALTERNATIVE [LR]. Projects that generate a total combined weight of construction and demolition waste disposed of in landfills, which do not exceed 3.4 tos. sq.f. of the building area shall meet the minimum 65% construction waste reduction requiremen Section 4.09. Exception: When EV chargers (Level 2 EVSE) are installed in a number greater than five (5) percent of parking spaces required by Section 4.106.4.2.2, item 3, the number of EV capable spaces required may treduced by a number equal to the number of EV chargers installed over the five (5) percent required. 4.303.1.3.2 Multiple showerheads serving one shower. When a shower is served by more than one showerhead, the combined flow rate of all the showerheads and/or other shower outlets controlled by a single valve shall not exceed 1.8 gastons per minute at 80 psi, or the shower shall be designed to only allow one shower outlet to be in operation at a time. CHAPTER 4 RESIDENTIAL MANDATORY MEASURES 4.408.4.1 WASTE STREAM REDUCTION ALTERNATIVE. Projects that generate a total combined weight of construction and demolition waste disposed of in landfills, which do not exceed 2 pounds per square foot of the building area, shall meet the minimum 65% construction waste reduction requirement in Section 4.409.1 Note: A hand-held shower shall be considered a showerhead SECTION 4.102 DEFINITIONS a. Construction documents shall show locations of future EV spaces 4 303 1 4 Equate i.102.1 DEFINITIONS
The following terms are defined in Chapter 2 (and are included here for reference) b. There is no requirement for EV spaces to be constructed or available until receptacles for EV charging or EV chargers are installed for use. 4.303.1.4.1 Residential Lavatory Faucets. The maximum flow rate of residential lavatory faucets shall not exceed 3.2 gallons per minute at 60 psi. The minimum flow rate of residential lavatory faucets shall not be less than 0.6 gallons per minute at 20 psi. FRENCH DRAIN. A trench, hole or other depressed area loosely filled with rock, gravel, fragments of brick or similar pervious material used to collect or channel drainage or runoff water. .408.5 DOCUMENTATION. Documentation shall be provided to the enforcing agency which demonstrates compliance with Section 4.408.2, items 1 through 5, Section 4.408.3 or Section 4.408.4... 2.EV Ready. Twenty-five (25) percent of the total number of parking spaces shall be equipped with low power Level 2 EV charging receptacles. For multifamily parking facilities, no more than one receptacle is required per detelling until when more than one parking space is provided for use by a single develing until. 4.303.1.4.2 Lavatory Faucets in Common and Public Use Areas. The maximum flow rate of lavator faucets installed in common and public use areas (outside of dwellings or sleeping units) in residential buildings shall not exceed 0.5 gallons per minute at 80 psi. WATTLES. Wattles are used to reduce sediment in runoff. Wattles are often constructed of natural plant materials such as hay, straw or similar material shaped in the form of tubes and placed on a downflow slope. Wattles are also used for perimeter and inlet controls. Exception: Areas of parking facilities served by parking lifts. Sample forms found in "A Guide to the California Green Building Standards Code (Residential)" located at www.hcd.ca.gov/CALGreen.html may be used to assist in documenting compliance with this section.
 Mixed construction and demolttion debris (C. 8. D) processors can be located at the California Department of Resources Recycling and Recovery (CalRecycle). Drive 92692 4.106 SITE DEVELOPMENT
4.106.1 GENERAL. Preservation and use of available natural resources shall be accompliahed through evaluation and careful planning to minimize negative effects on the site and adjacent areas. Preservation of slopes, management of storm water drainage and erosion controls shall comply with this section. 4.303.1.4.3 Metering Faucets. Metering faucets when installed in residential buildings shall not deliver more than 0.2 gallons per cycle. 3.EV Chargers. Five (5) percent of the total number of parking spaces shall be equipped with Level 2 EVSE. Where common use parking is provided, at least one EV charger shall be located in the common use parking area and shall be available for use by all realderlos or guests. 4.303.1.4.4 Kitchen Faucets. The maximum flow rale of kitchen faucets shall not exceed 1.8 gallons per minute at 60 psi. Kitchen faucets may temporarily increase the flow above the maximum rate, but not to exceed 2.2 gallons per minute at 60 psi, and must default to a maximum flow rate of 1.8 gallons per minute at 60 psi. When low power Level 2 EV charging receptacles or Level 2 EVSE are installed beyond the minimum required an automatic load management system (ALMS) may be used to reduce the maximum required electrical expactly to each space served by the ALMS. The isolation and any on-site distribution transformers shall have sufficient capacity to deliver at least 3.3 kW simultaneously to each EV charging station (EVCS) exerved by the ALMS. The transfor clicuit shall have a minimum capacity of 40 ampenses, and installed EVSE exerved by the ALMS. The transfor clicuit shall have a minimum capacity of 40 ampenses, and installed EVSE exerved by the ALMS. The transfor clicuit shall have a minimum capacity of 40 ampenses, and installed EVSE exerved by the ALMS. The transfor clicuit shall have a minimum capacity of 40 ampenses, and installed EVSE exerved by the ALMS. The transfor clicuit shall have a minimum capacity of 40 ampenses, and installed EVSE exerved by the ALMS. The transformer properties of the ALMS and the ALMS an 4.410 BUILDING MAINTENANCE AND OPERATION 1.410.1 OPERATION AND MAINTENANCE MANUAL. At the time of final inspection, a manual, compact disc, veb-based reference or other media acceptable to the enforcing agency which includes all of the following shall be placed in the building: 4.106.2 STORM WATER DRAINAGE AND RETENTION DURING CONSTRUCTION. Projects which disturb less than one acre of soil and are not part of a larger common plan of development which in total disturbs one acre or more, shall manage storm water drainage during construction. In order to manage storm water drainage during construction, one or more of the following measures shall be implemented to prevent flooding of adjace properly, prevent erosion and retain self runoff on this sile. AGENT James Stevens 26352 Mirar Vista D Mission Viejo, CA 9 (949) 364-0876 Note: Where complying faucets are unavailable, aerators or other means may be used to achieve reduction. Directions to the owner or occupant that the manual shall remain with the building throughout the life cycle of the structure.

Operation and maintenance instructions for the following: Retention basins of sufficient size shall be utilized to retain storm water on the site.
 Where storm water is conveyed to a public drainage system, collection point, gutter or similar disposal method, water shall be filtered by use of a barrier system, wattle or other method approy by the enforcing agency.
 Compliance with a tendfully enacted storm water management ordinance. Detections to the owner or occupant that the manual shall remain with the during throughout the Operation and maintenance instructions for the following:

a. Equipment and appliances, including water-asving devices and systems, HVAC systems, photovoitals systems, electric while chargers, water-healing systems and other major appliances and equipment.

b. Roof and yard drainage, including guiters and downspouts.

c. Roof and yard drainage, including guiters and downspouts.

d. Landscape Irrigation systems.

e. Water reuse systems.

Information from local utility, water and waster recovery providers on methods to further reduce resource consumption, including recycle programs and locations.

Educational material on the positive impacts of an interior relative humidity between 30-60 percent and what methods an occupant may use to maintain the relative humidity level in that range. Information about water-conserving landscape and irrigation design and controllers which conserve water. 4.303.1.4.5 Pre-rinse spray valves.
When installed, shall meet the requirements in the California Code of Regulations, Title 20 (Appliance
Elicidency Regulations), Section 1605.1 (h)(4) Table H-2, Section 1605.3 (h)(4)(A), and Section 1607.
(d)(7) and shall be equipped with an integral automatic shubort. 4.106.4.2.2.1 Electric vehicle charging stations (EVCS).

Fluctric vehicle charging stations required by Section 4.106.4.2.2, Rem 3, shall comply with Section 4.106.4.2.2.1. Exception: Electric vehicle charging stations serving public accommodations, public housing, motels and hotels shall not be required to comply with this section. See California Building Code, Chapter 11B, for applicable FOR REFERENCE ONLY: The following table and code section have been reprinted from the Californic Code of Regulations, Title 20 (Appliance Efficiency Regulations), Section 1605.1 (h)(4) and Section Note: Refer to the State Water Resources Control Board for projects which disturb one acre or more of soil, or are part of a larger common plan of development which in total disturbs one acre or more of soil. 1605.3 (h)(4)(A). (Website: https://www.waterboards.ca.gov/water_issues/programs/ston .106.3 GRADING AND PAVING. Construction plans shall indicate how the site grading or drainage system will manage all surface water flows to keep water from entering buildings. Examples of methods to manage so water induce, but are not initiated to, the following: 1.The charging space shall be located adjacent to an accessible parking space meeting the requirements of the California Building Code, Chapter 11A, to allow use of the EV charger from the accessible parking space STANDARDS FOR COMMERCIAL PRE-RINSE SPRAY The charging space shall be located on an accessible route, as defined in the California Building Code, Chapter 2, to the building. water, nstructions for maintaining gutters and downspouts and the importance of diverting water at least 5 set away from the foundation. VALUES MANUFACTURED ON OR AFTER JANUARY 28, 2019 Swales
 Water collection and disposal systems
 French drains
 Weller retention gardens
 Water retention gardens
 Water retention gardens feet away from the foundation.

8. Information on required routine maintenance measures, including, but not limited to, caulising, painting, grading around the building, etc.

9. Information about state solar energy and incentive programs available.

10. A copy of all special inspections verifications required by the enforcing agency or this code.

11. Information from the Department of Foresty and Fire Protection on maintenance of detensible space around residential structures.

12. Information and/or drawings identifying the location of grab bar reinforcements. MAXIMUM FLOW RATE (gpm) 4.106.4.2.2.1.2 Electric vehicle charging stations (EVCS) dimensions
The charging spaces shall be designed to comply with the following: Exception: Additions and alterations not altering the drainage path, roduct Class 2 (> 5.0 ozf and ≤ 8.0 oz® 4.106.4 Electric vehicle (EV) charging for new construction. New construction shall comply with Sections 4.106.4.1 or 4.106.4.2 to facilitate future installation and use of EV chargers. Electric vehicle supply equipment (EVSE) shall be installed in accordance with the *California Electrical Code*, Article 625. 1. The minimum length of each EV space shall be 18 feet (5486 mm). oduct Class 3 (> 8.0 ozf) 4.410.2 RECYCLING BY OCCUPANTS. Where 5 or more mutitiamity diveiling units are constructed on a building site, provide readily accessible area(s) that serves all buildings on the site and are identified for the depositing, storage and ociteition of non-hazardous materials for recycling, including (at a minimum) paper, corrupated cardboard, glass, plastice, organio waster, and metals, or meet a lawfully enacted local recycling ordinance, if more restrictive. 1.28 BUILDER Corral Builders 2316 La Linda Place Newport Beach, CA 9 (949) 415-9056 3. One in every 25 charging spaces, but not less than one, shall also have an 8-foot (2436 mm) wide minimum aisle. A 5-foot (1524 mm) wide minimum aisle shall be permitted provided the minimum width of the EV space is 12 feet (3686 mm). places:

1. On a case-by-case basis, where the local enforcing agency has determined EV charging and infrastructure are not feasible based upon one or more of the following conditions:

1. Where there is no local utility power supply or the local utility is unable to supply adequate 4.303.2 Submeters for multifamily buildings and dwelling units in mixed-used residential/commercial ings.
Submeters shall be installed to measure water usage of individual rental dwelling units in accordance with the
California Plumbing Code. Exception: Rural jurisdictions that meet and apply for the exemption in Public Resources Code Section 42649.82 (a)(2)(A) et seq. are note required to comply with the organic waste portion of a.Surface slope for this EV space and the aisle shall not exceed 1 unit vertical in 48 units horizontal (2.083 percent slope) in any direction. power.

1.2 Where there is evidence suitable to the local enforcing agency substantialing that additional local utility infrastructure design requirements, directly related to the implementation of Section 4.108.4, may adversely impact the construction cost of the project.

2. Accessory Dwelling Units (ADU) and Junior Accessory Dwelling Units (JADU) without additional parking facilities. 4.303.3 Standards for plumbing fixtures and fittings. Plumbing fixtures and fittings shall be installed in accordance with the California Plumbing Code, and shall meet the applicable standards referenced in Table 1701.1 of the California Plumbing Code. 4.106.4.2.2.1.3 Accessible EV spaces. In addition to the requirements in Sections 4.106.4.2.2.1.1 and 4.106.4.2.2.1.2, all EVSE, when installed, shall comply with the accessibility provisions for EV chargers in the California Building Code, Chapter 118. EV ready spaces and EVCS in multifamily developments shall comply with California Building Code, Chapter 11A, Section 1109A. DIVISION 4.5 ENVIRONMENTAL QUALITY SECTION 4.501 GENERAL 4.501.1 Scope NOTE: THIS TABLE COMPILES THE DATA IN SECTION 4.303.1, AND IS INCLUDED AS A 4.106.4.1 New one- and two-family dwellings and townhouses with attached private garages. For each dwelling unit, install a listed raceway to accommodate a dedicated 208/240-voil branch circuit. The raceway shall not be less than trade size of (normal 1-ind) inside diameter. The raceway shall originate at the main the result of the r 4.106.4.2.3 EV space requirements.

1. Single EV space required. Install a listed raceway capable of accommodating a 208/240-voil dedicated branch forcut. The raceway shall not be less than trade size 1 (nominal 1-inch inside diameter). The raceway shall originate at the main service or subpanel and shall terminate into a listed cabinet, box or enclosure in close proximity to the location or the proposed location of the EV space. Construction documents shall identify the raceway termination point, receptacle or charger location, as applicable. The service panel and or subpanel shi have a 40-ampere minimum decidated branch circuit, including branch circuit overcurrent protective device installed, or space(s) reserved to permit installation of a branch circuit overcurrent protective device. 1.201.1 accept the provisions of this chapter shall outline means of reducing the quality of air contaminants that are odorous, tritating and/or harmful to the comfort and well being of a building's installers, occupants and neighbors. TABLE - MAXIMUM FIXTURE WATER USE FIXTURE TYPE FLOW RATE SECTION 4.502 DEFINITIONS SHOWER HEADS (RESIDENTIAL) 1.8 GMP @ 80 PS ne following terms are defined in Chapter 2 (and are included here for reference) MAX. 1.2 GPM @ 60 PSI MIN. 0.8 GPM @ 20 AGRIFIBER PRODUCTS, Agrifiber products include wheatboard, strawboard, panel substrates and door cores, not including furniture, fixtures and equipment (FF&E) not considered base building elements. LAVATORY FAUCETS (RESIDENTIAL) COMPOSITE WOOD PRODUCTS. Composite wood products include hardwood plywood, particleboard and medium density fiberboard. "Composite wood products" does not include hardwood, surductional sylvood, structural panels, structural panels tumber, refined stramb board, glued laiminated imber, prefabblicated wood l-joints or finger-jointed lumber, all as specified in California Code of regulations (CCR), title 17, Section 93120.1. 4.105.4.1.1 Identification. The service panel or subpanel circuit directory shall identify the overcurrent protective device space(s) reserved for future EV charging as "EV CAPABLE". The receway termination location shall be permanently and visibly marked as "EV CAPABLE". 1.8 GPM @ 60 PSI 2.Multiple EV spaces required. Construction documents shall indicate the raceway termination point and the location of installed or future EV spaces, receptacles or EV chargers. Construction documents shall also provide information on amperage of installed or future receptacles or EVE, raceway methodly, whiring schematics and electrical load calculations. Plan design shall be based upon a 40-ampere minimum branch circuit. Required raceways and related components that are planned to be installed underground, enclosed, inaccessible or in concessed areas and spaces shall be installed at the time of original construction. KITCHEN FAUCETS METERING FAUCETS 0.2 GAL/CYCLE **G**1 DIRECT-VENT APPLIANCE. A fuel-burning appliance with a sealed combustion system that draws all air for combustion from the outside atmosphere and discharges all flue gases to the outside atmosphere. 1.28 GAL/FLUSH 0.125 GAL/FLUSH

ARDS (CALGREEN) CODE. DUE TO THE VARIABLES BETWEEN BUILDING DEPARTMENT JURISDICTIONS, THIS CHECKLIST IS TO BE USED ON AN INDIVIDUAL PROJECT BASIS AND MAY BE MODIFIED BY THE END USER TO MEET THOSE INDIVIDUAL NEEDS. THE END USER ASSUMES ALL RESPONSIBILITY ASSOCIATED WITH THE USE OF THIS DOCUMENT, INCLUDING VERFICATION WITH THE FULL CODE



California 2022 CALIFORNIA GREEN BUILDING STANDARDS CODE RESIDENTIAL MANDATORY MEASURES SHEET 2 (January 2023)

	KLOIDLINTIAL	IAINAIA	IDATORT WEASURES, SHE		2 (January 2023)		NA NOT APPLICABLE RESPONSE FORTH OWNER, CONTRACTOR, MAPRIETT ENGINEER, OWNER, CONTRACTOR, MAPRIETTOR STC.)		Grip	
NIA RESPON. PARTY		Y NU RESPON. PARTY		Y NA RESPON		Y MIA RESPOS		٦	Se	
	MAXIMUM INCREMENTAL REACTIVITY (MIR). The maximum change in weight of ezone formed by adding a compound to the "Base Reactive Organic Gas (ROG) Mixture" per weight of compound added, expressed to hundredths of a gram (g 0'7g ROC). Note: MIR values for Individual compounds and hydrocarbon solvents are specified in CCR. Title 17. Sections 94700		TABLE 4.504.2 - SEALANT VOC LIMIT (Less Water and Less Exempt Compounds in Grams per Liter) SEALANTS VOC LIMIT		TABLE 4.504.5 - FORMALDEHYDE LIMITS: MAXIMUM FORMALDEHYDE EMISSIONS IN PARTS PER MILLION PRODUCT CURRENT LIMIT		CHAPTER 7 INSTALLER & SPECIAL INSPECTOR QUALIFICATIONS 702 QUALIFICATIONS	evisio	٥	
	and 94701, MOISTURE CONTENT. The weight of the water in wood expressed in percentage of the weight of the oven-dry wood. PRODUCT-WEIGHTED MIR (PWMIR). The sum of all weighted-MIR for all ingredients in a product subject to this		ARCHITECTURAL 250 MARINE DECK 760		HARDWOOD PLYWOOD VENEER CORE 0.05 HARDWOOD PLYWOOD COMPOSITE CORE 0.05	C 06	702.1 INSTALLER TRAINING. IN/AC system installers shall be trained and certified in the proper installation of HVAC systems including ducts and equipment by a nationally or reginately recognized training or certification program. Uncertified persons may perform HVAC installations when under the direct supervision and responsibility of a person training and certified be install HVAC systems or contractor inclemed to install HVAC systems.	M.	By	
	article. The PMMHr is the total product reactivity expressed to hundredths of a gram of zone formed per gram of product (excluding container and packaging). Note: PWMIR is calculated according to equations found in CCR, Title 17, Section 94521 (a).		NONMEMBRANE ROOF 300 ROADWAY 250 SINGLE-PLY ROOF MEMBRANE 450		PARTICLE BOARD 0.09 MEDIUM DENSITY FIBERBOARD 0.11 THIN MEDIUM DENSITY FIBERBOARD2 0.13		Examples of acceptable HVAC training and certification programs include but are not limited to the following: 1. State certified apprenticeship programs. 2. Public utility training programs sponsored by trade, labor or statewide energy consulting or verification organizations.	1		
	REACTIVE ORGANIC COMPOUND (ROC). Any compound that has the potential, once emitted, to contribute to ozone formation in the troposphere. VOC. A votalite organic compound (VOC) broadly defined as a chemical compound based on carbon chains or rings with vapor pressures greater than 0.1 millimeters of mercury at room temperature. These compounds twically contain		OTHER 420 SEALANT PRIMERS ARCHITECTURAL		1. VALUES IN THIS TABLE ARE DERIVED FROM THOSE SPECIFIED BY THE CALIF, AIR RESOURCES BOARD, AIR TOXICS CONTROL MEASURE FOR COMPOSITE WOOD AS TESTED IN ACCORDANCE WITH ASTME 1333. FOR ADDITIONAL INFORMATION, SEE CALIF.	OL O CHIA	Programs sponsored by manufacturing organizations. Other programs acceptable to the enforcing agency. 702.2 SPECIAL INSPECTION [HCD]. When required by the enforcing agency, the owner or the responsible entity acting as the owner's agent shall employ one or more special inspections to provide inspection or		Date	
0 30	with vapor pressures greater than 0.1 millimeters of mercury at room temperature. These compounds typically contain hydrogen and may contain oxygen, nitrogen and other elements. See CCR Title 17, Section 94506(a). 4,503 FIREPLACES 4,503.1 GENERAL. Any installed gas fireplace shall be a direct-vent readled-combustion type. Any installed woodstow or pelet stove shall comply with U.S. EPA New Source Performance Standards (NSPS) emission limits as		NON-POROUS 250 POROUS 775 MODIFIED BITUMINOUS 500		CODE OF REGULATIONS, TITLE 17, SECTIONS 93120 THROUGH 93120,12. 2. THIN MEDIUM DENSITY FIBERBOARD HAS A MAXIMUM THICKNESS OF 5/16" (6 MM).		responsible entity acting as the owner's agent shall employ one or more special inspection to provide inspection or other dulies renorating to a provide a special provided in the provided of the provided inspection or other confidence of the provided of the provided in the provided of	-		HH
Corus	applicable, and shall have a permanent label indicating they are certified to meet the emission limits. Woodstoves, pellet stoves and fireplaces shall also comply with applicable local ordinances. 4.504 POLLUTANT CONTROL 4.504.1 COVERING OF DUCT OPENINGS & PROTECTION OF MECHANICAL EQUIPMENT DURING		MARINE DECK 760 OTHER 750	D X	DIVISION 4.5 ENVIRONMENTAL QUALITY (continued) 4.504.2 CARPET SYSTEMS. All carpet installed in the building interior shall meet the requirements of the California		Certification by a national or regional green building program or standard publisher. Certification by a statewide energy consulting or verification organization, such as HERS raters, building performance contractors, and home energy auditors. Successful completion of a third party apprentice training program in the appropriate trade.		Re	
- Ballanca	CONSTRUCTION. At the time of rough installation, during storage on the construction site and until final startup of the healing, cooling and verillating equipment, all duct and other related are distribution component openings shall be covered with tape, plastic, sheet metal or other methods acceptable to the enforcing agency to reduce the amount of water, dust or debits which may enter the system.				Department of Public Health, "Standard Method for the Testing and Evaluation of Volatile Organic Chemical Emissions from Indoor Sources Using Environmental Chambers," Version 1.2, January 2017 (Emission testing method for California Specification 01350) See California Department of Public Health's website for certification programs and testing labe.		Other programs acceptable to the enforcing agency. Notes: Special inspectors shall be independent entities with no financial interest in the materials or the project they are inspecting for compliance with this code.			
Company Compan	4.504.2 FINISH MATERIAL POLLUTANT CONTROL. Finish materials shall comply with this section. 4.504.2.1 Adhesives, Sealants and Caulits. Adhesives, sealant and caulise used on the project shall meet the requirements of the following standards unless more stringent local or regional air pollution or air quality		TABLE 4.504.3 - VOC CONTENT LIMITS FOR ARCHITECTURAL COATINGS.3	D X	https://www.odph.ca.gov/Programs/CCDPHP/DEODC/EHLB/IAQ/Pages/VOC.aspx. 4.904.3.1 Carpet cushion. All carpet cushion installed in the building literior shall meet the requirements of the California Department of Public Health, Schanderd Method for the Testing and Evaluation of Volatile Organic		HERS raters are special inspectors cartified by the California Energy Commission (CEC) to rate homes in California according to the Home Energy Rating System (HERS). [BSC] When required by the enforcing agency, the owner or the responsible entity scriting as the owner's agent shall employ one or more special inspectors to provide inspection or other duties necessary to substantiate compliance with		7	
	 Adhesives, adhesive bonding primers, adhesive primers, sealants, sealant primers and caulks shall comply with local or regional air pollution control or air quality management district rules where applicable or SCAOMD Rule 1188 VOC limits, as shown in Table 4.541 or 4.542, as applicable. 		GRAMS OF VOC PER LITER OF COATING, LESS WATER & LESS EXEMPT COMPOUNDS COATING CATEGORY VOC LIMIT		Chemical Emissions from Indoor Sources Using Environmental Chambers," Version 1.2. January 2017 (Emission testing method for California Specification 01350) See California Department of Public Health's website for certification programs and testing labs.		this code. Special inspectors shall demonstrate competence to the salisfaction of the enhoring agency for the particular type of inspection or task to be performed. In addition, the special inspector shall have a certification from a recognized state, national or international association, as determined by the local agency. The area of certification shall be closely related to the primary job function, as determined by the local agency.		9263	
	Such products also shall comply with the Rule 1168 prohibition on the use of certain toxic compounds (chloroform, ethylene dichloride, methylene chloride, perchloroethylene and tricioroethylene), except for aerosol products, as specified in Subsection 2 below. 2. Aerosol adhesives, and smaller unit sizes of adhesives, and sealant or cautking compounds (in		FLAT COATINGS 50 NON-FLAT COATINGS 100 NONFLAT-HIGH GLOSS COATINGS 150	o X	https://www.cdph.ca.gov/Programs/CCDPHP/DEODC/EHLB/IAQ/Pages/VOC.aspx. 4.504.3.2 Carpet adhesive. All carpet adhesive shall meet the requirements of Table 4.504.1. 4.504.4 RESILIENT FLOORING SYSTEMS. Where resilient flooring is installed, at least 60% of floor area receiving		Note: Special inspectors shall be independent entities with no financial interest in the materials or the project they are inspecting for compliance with this code.		, S	
	units of product, leas packaging, which do not weigh more than 1 pound and do not consist of more than 16 hald outness) shall comply with statewide VCC standards and other requirements, including prohibitions on use of certain toxic compounds, of California Code of Regulations, Title 17, commercing with section 49507.		SPECIALTY COATINGS ALUMINUM ROOF COATINGS BASEMENT SPECIALTY COATINGS 400		resilient flooring shall meet the requirements of the California Department of Public Health, "Standard Method for the Testing and Evaluation of Voltable Organic Chemical Emissions from Indoor Sources Using Environmental Chambers," Version 1.2, January 2017 (Emission testing method for California Specification 01350) See California Department of Public Health's website for certification programs and testing labs.	OK D Coral Builders	703. VERIFICATIONS 703.1 DOCUMENTATION. Documentation used to show compliance with this code shall include but is not limited to, construction documents, plans, specifications, builder or installer certification, inspection reports, or other methods acceptable to the emforcing agency which demonstrate substantial conformance. When specific documentation or special inspection is necessary to verify compliance, that method of compliance will be specified in		rrobo	
CO Balles	4.504.2.2 Paints and Coatings. Architectural paints and coatings shall comply with VoC limits in Table 1 of the ARB Architectural Suggested Control Measure, as shown in Table 4.504.3, unless more stiringent local limits apply. The VOC content limit for coatings that do not meet the definitions for the specialty coatings categories listed in Table 4.504.3 shall be determined by classifying the coating as a Flat, Norflat or Norflat-High Gloss coating, based on its gloss, as defined in subsections 4.21, 4.43, 6.44.43.7 of the 2007 Callifornia AF Resources		BITUMINOUS ROOF COATINGS 50 BITUMINOUS ROOF PRIMERS 350 BOND BREAKERS 350	OL O Cura	hhlps://www.cdph.ca.gov/Programs/CCOPHP/DEODC/EHLB/IAQ/Pages/VOC.aspx. 4.504.5 COMPOSITE WOOD PRODUCTS. Hardwood plywood, particleboard and medium density fiberboard		the appropriate section or identified applicable checklist.	SIDENT	Algarr A Wooc 39-561	
(O Geres	Board, Suggested Control Measure, and the corresponding Flat, Nontiat Plat of Nontiat-High Glose VOC limit in Table 4.504.2.3 Aerosof Paints and Coatings. Aerosof paints and coatings shall meet the Product-weighted MIR Limits for ROC in Section 945(23)(2) and other requirements, including prohibitions on use of certain toxic.		CONCRETE CURING COMPOUNDS 350 CONCRETEMASONRY SEALERS 100 DRIVEWAY SEALERS 50	OK O Gerral Builders	composite wood products used on the interior or exterior of the buildings that meet the requirements for formaldehyde as specified in ARB's Air Toxics Control Measure for Composite Wood (17 CCR 93120 et seq.), by or before the dates specified in those sections, as shown in Table 4.504.5 4.504.5.1 Documentation. Verification of compliance with this section shall be provided as requested			SIDIS	上いるの	
	compounds and ozone depleting substances, in Sections 9452(e)(f) and (f)(f) of Californie Code of Regulations, Title 17, commencing with Section 94520; and in neas under the jurisdiction of the Bay Area Air Quality Management District additionally comply with the percent VOC by weight of product limits of Regulation 8, Rule 49.		DRY FOG COATINGS 150 FAUX FINISHING COATINGS 350 FIRE RESISTIVE COATINGS 350		by the enforcing agency. Documentation shall include at least one of the following: 1. Product certifications and specifications. 2. Chain of custody certifications. 3. Product labeled and invoiced as meeting the Composite Wood Products regulation (see			E E	Tim S 53670 Lagui (949)	ì
C Cervil	 4.504.2.4 Verification. Verification of compliance with this section shall be provided at the request of the enforcing agency. Documentation may include, but is not limited to, the following: Manufacture's product specification. Field verification of on-site product containers. 		FLOOR COATINGS		 CCR, Title 17, Section 93 120, et seq.). Exterior grade products marked as meeting the PS-1 or PS-2 standards of the Engineered Wood Association, the Australian ASINZS 2269, European 536 3S standards, and Canadian CSA 0121, CSA 0151, CSA 0153 and CSA 0325 standards. Other methods acceptable to the enforcing agency. 			\vdash		
	TABLE 4.504.1 - ADHESIVE VOC LIMIT.2		HIGH TEMPERATURE COATINGS 420 INDUSTRIAL MAINTENANCE COATINGS 250		4.505 INTERIOR MOISTURE CONTROL 4.505.1 General. Buildings shall meet or exceed the provisions of the California Building Standards Code.				ive 2692	2
	(Less Water and Less Exempt Compounds in Grams per Liter) ARCHITECTURAL APPLICATIONS NOOGR CARPET ADHESIVES 50		LOW SOLIDS COATINGS: 120 MAGNESITE CEMENT COATINGS 450 MASTIC TEXTURE COATINGS 100	OK O Comp.	4.305.2 CONCRETE SLAB FOUNDATIONS. Concrete slab foundations required to have a vapor retarder by California Buldring Code, Chapter 19, or concrete slab-on-ground floors required to have a vapor retarder by the California Residential Code, Chapter 6, shall also comply with this section.				sta Dri	13
	CARPET PAD ADHESIVES 50 OUTDOOR CARPET ADHESIVES 150 WOOD FLOORING ADHESIVES 100		METALLIC PIGMENTED COATINGS 500 MULTICOLOR COATINGS 250 PRETREATMENT WASH PRIMERS 420	OK CO Statistics	4.905.2.1 Capillary break. A capillary break shall be installed in compliance with at least one of the following: 1. A 4-inch (101.6 mm) blick base of 1/2 inch (12.7mm) or larger clean aggregate shall be provided with a vapor barrier in direct contact with concrete and a concrete mix design, which will address bleeding.				Vis jo,	Bel
	RUBBER FLOOR ADHESIVES 60 SUBFLOOR ADHESIVES 50 CERAMIC TILE ADHESIVES 65		PRIMERS, SEALERS, & UNDERCOATERS 100 REACTIVE PENETRATING SEALERS 350 RECYCLED COATINGS 250		shrinkage, and curling, shall be used. For additional information, see American Concrete Institute, ACI 302.2R-06. 2. Other equivaterin methods approved by the enforcing agency, 3. A slab design specified by a licensed design professional.			H '	Mir V	y
	VCT & ASPHALT TILE ADHESIVES 50 DRYWALL & PANEL ADHESIVES 50 COVE BASE ADHESIVES 50		ROOF COATINGS 50 RUST PREVENTATIVE COATINGS 250 SHELLACS	OC O Corrys	4.50.3 MOISTURE CONTENT OF BUILDING MATERIALS. Building materials with visible signs of water damage shall not be installed. Wall and floor framing shall not be enclosed when the faming members exceed 19 percent moisture content. Moisture content shall be verified in compliance with the following: 1. Moisture content shall be determined with either a probe-type or contact-type moisture meter Equivalent.			1 75	352 1352 1352 149 3	done
	MULTIPURPOSE CONSTRUCTION ADHESIVE 70 STRUCTURAL GLAZING ADHESIVES 100		CLEAR 730 OPAQUE 550 SPECIALTY PRIMERS, SEALERS & 100		moisture verification methods may be approved by the enforcing agency and shall salisfy requirements found in Section 101.8 of this code. 2. Moisture readings shall be taken at a point 2 feet (610 mm) to 4 feet (1219 mm) from the grade stamped end of each piece verified. 3. At least time random moisture readings shall be performed on wall and floor framing with documentation			\ \ .	Jar 26, Mis 94	O
	SINGLE-PLY ROOF MEMBRANE ADHESIVES 250 OTHER ADHESIVES NOT LISTED 50 SPECIALTY APPLICATIONS		### ### ### ### ### ### ### ### ### ##		acceptable to the enforcing agency provided at the time of approval to enclose the wall and floor framing. Insulation products which are visibly wet or have a high moisture content shall be replaced or allowed to dry prior to enclosure in wall or floor cavities. Wet-applied insulation products shall follow the manufacturers' drying recommendations prior to enclosure.			Г		
	PVC WELDING 510 CPVC WELDING 490 ABS WELDING 325		SWIMMING POOL COATINGS 340 TRAFFIC MARKING COATINGS 100 TUB & TILE REFINISH COATINGS 420	OX CO CONST	4.506 INDOOR AIR QUALITY AND EXHAUST 4.506.1 Ballhroom exhaust fans. Each bathroom shall be mechanically ventilated and shall comply with the following:				92660	
	PLASTIC CEMENT WELDING 250 ADHESIVE PRIMER FOR PLASTIC 550 CONTACT ADHESIVE 60		WATERPROOFING MEMBRANES 250 WOOD COATINGS 275 WOOD PRESERVATIVES 350		Fans shall be EMERGY STAR compliant and be ducted to terminate outside the building. Unless functioning as a component of a whole house verillation system, fans must be controlled by a humidity control. A. Humidity controls shall be capable of adjustment between a relative humidity range less than or				, CA	
	SPECIAL PURPOSE CONTACT ADHESIVE 250 STRUCTURAL WOOD MEMBER ADHESIVE 140 TOP & TRIM ADHESIVE 250		ZINC-RICH PRIMERS 340 1. GRAMS OF VOC PER LITER OF COATING, INCLUDING WATER & EXEMPT COMPOUNDS		equal to 50% to a maximum of 80%. A humidity control may utilize manual or automatic means of adjustment. b. A humidity control may be a separate component to the exhaust fan and is not required to be integral (i.e., built-in)				Builders a Linda Pl rt Beach,	
	SUBSTRATE SPECIFIC APPLICATIONS METAL TO METAL 30 PLASTIC FOAMS 50		THE SPECIFIED LIMITS REMAIN IN EFFECT UNLESS REVISED LIMITS ARE LISTED IN SUBSEQUENT COLUMNS IN THE TABLE. VALUES IN THIS TABLE ARE DERIVED FROM THOSE SPECIFIED BY THE CALIFORNIA AIR RESOURCES BOARD, ARCHITECTURAL COATINGS		Notes: 1. For the purposes of this section, a bathroom is a room which contains a bathtub, shower or tubinitioner combination. 2. Lighting integral to bathroom exhaust fans shall comply with the California Energy Code.			ER	La Lir Nort Bo	
	POROUS MATERIAL (EXCEPT WOOD) 50 WOOD 30 FIBERGLASS 60		SUGGESTED CONTROL MEASURE, FEB. 1, 2008. MORE INFORMATION IS AVAILABLE FROM THE AIR RESOURCES BOARD.	D X	4.507 ENVIRONMENTAL COMFORT 4.507.2 HEATING AND AIR-CONDITIONING SYSTEM DESIGN. Heating and air conditioning systems shall be based, designed and have their equipment delicated using the following methods:			UILD	16 19 19 19	
	I. IF AN ADHESIVE IS USED TO BOND DISSIMILAR SUBSTRATES TOGETHER, THE ADHESIVE WITH THE HIGHEST VOC CONTENT SHALL BE ALLOWED.				The heat loss and heat gain is established according to ANSI/ACCA 2 Manual J - 2011 (Residential Load Calculation), ASHRAE handbooks or other equivalent design software or methods. Duct systems are sized according to ANSI/ACCA 1 Manual D - 2014 (Residential Duct Systems), ASHRAE handbooks or other equivalent design software or methods. Select heating and cooling equipment according to ANSI/ACCA 3 Manual S - 2014 (Residential Calculations).			8	S & S S	
	FOR ADDITIONAL INFORMATION REGARDING METHODS TO MEASURE THE VOC CONTENT SPECIFIED IN THIS TABLE, SEE SOUTH COAST AIR QUALITY MANAGEMENT DISTRICT RULE 1168.				Equipment Selection), or other equivalent design software or methods. Exception: Use of alternate design temperatures necessary to ensure the system functions are acceptable.				G2	
SCLAIMER:	THIS DOCUMENT IS PROVIDED AND INTENDED TO BE USED AS A MEANS TO INDICATE AREAS OF COMPLIANCE WITH THE CALIFORN	RNIA GREEN BUILDIN	IG STANDARDS (CALGREEN) CODE, DUE TO THE VARIABLES BETWEEN BUILDING DEPARTMENT JURISDICTIONS, THIS CHECKI	LIST IS TO BE USE	D ON AN INDIVIDUAL PROJECT BASIS AND MAY BE MODIFIED BY THE END USER TO MEET THOSE INDIVIDUAL NEEDS. THE END USE	R ASSUMES A	LL RESPONSIBILITY ASSOCIATED WITH THE USE OF THIS DOCUMENT, INCLUDING VERIFICATION WITH THE FULL CODE.	1		

ATTACHMENT 5 DRAFT CONDITIONS OF APPROVAL

CONDITIONS OF APPROVAL

<u>Manor:</u> 5367-C

Variance Description: Replace Window with Sliding Glass Door and Paver

Patio on Common Area

A Variance for Alterations has been granted at the above manor, subject to the attached plans stamped approved and is subject to a final inspection by the Division. Any variations to the approved attached plans are not allowed and could result in a stop work notice and/or disciplinary action taken against the Member.

Manor-Specific Conditions:

A. General Comments:

- A.1. Due to this approval involving the use of Common Area, the member shall provide to Manor Alterations a copy of the Grant Deed and Legal Description for the unit, prior to application for Mutual Consent for Demolition and Alteration, for use in preparation of the "Recordable Exclusive Use of Common Area Revocable License" as mentioned in Section G General Conditions.
- A.2. This approval does not change the number of bedrooms or the original maximum occupants permitted in the Unit.
- A.3. The Member shall provide plans, specifications, and calculations from a duly licensed architect to conform to the Building Codes for the work of this variance.
- A.4. A City of Laguna Woods Building Permit will be required and provided to Manor Alterations to verify all code requirements.

B. Materials and Methods:

B.1. Pavers installation must be set per Standard 21 Patio Slabs, Walkways, and Pavers.

C. Requirements for Mutual Consent for Alterations:

C.1. Prior to the Issuance of a Mutual Consent for Alterations, a complete set of unit specific plans, specifications and calculations prepared by a licensed architect or structural engineer depicting the proposed improvement must be submitted to the Division office located in the Laguna Woods Village Community Center. The plans must depict any required structural modifications ensuring the structural integrity of the building is maintained upon completion of the proposed improvement.

D. Requirements for Final Inspection by Manor Alterations:

- D.1. Prior to Final Inspection by Manor Alterations, a scanned copy of the City-Approved and Stamped plan set shall be submitted to the Division office located in the Laguna Woods Village Community Center. The plans must depict the work as completed and approved by the City, including all structural and architectural modifications.
- D.2. Prior to Final Inspection by Manor Alterations, all altered exterior surfaces should match the Building texture and color; the approved colors and materials are available at Resident Services, located at the Community Center first floor.

General Conditions:

G. General Conditions

- G.1. No improvement shall be installed, constructed, modified or altered at 5367-CEnter Manor Address., ("Property") within the Third Laguna Hills Mutual ("Mutual") without an approved Mutual Consent for Alterations application for the improvement has been made to, and approved, in writing, by, the Village Management Services, Inc. ("VMS, Inc."), Alterations Division ("Division"), or, in the event of a Variance from the Mutual's Alteration Standards, the Architectural Control and Standards Committee ("ACSC"). In the event written permission is given for the installation, construction, modification or alteration of any improvement(s) upon the Property, the Member or Members ("Member") agrees to comply with the Mutual's Governing Documents and any specific terms or conditions imposed, and that the installation, construction, modification or alteration shall be in strict compliance with the terms of the approval.
- G.2. Member hereby consents to and grants to the Mutual and the Maintenance and Construction Department, and their representatives, a right of entry upon the Property, with reasonable notice, to inspect the permitted improvements, and for their representatives and contractors to remedy any violation upon the Property, including, but not limited to, unauthorized disturbance of regulated materials, removing trash from common areas, removing any improvement

installed without approval or modifying an improvement to bring the same into compliance with the terms of the approval. Any remedial work performed on behalf of the manor owner as a result of violations to Mutual policy and/or regulatory violations will be processed as a chargeable service.

- G.3. All costs for maintenance, repair, renovation, replacement or removal of the improvement, present and future, are the responsibility of the Property's Member at 5367-C and all future Mutual Members at 5367-C.
- G.4. Member shall be responsible for all activity by contractors, subcontractors, material suppliers and their employees and agents and any others who perform work on the Property, including any violation of the Mutual's Governing Documents, including, but not limited to, traffic and parking violations, maintenance of a clean job site at all times, damage to Mutual property, and use of Mutual property for storage of equipment or materials without prior approval. Member acknowledges and agrees that all such persons are his/her invitees. Member shall be responsible for informing all his/her invitees of the Mutual's Rules and Regulations.
- G.5. Member shall be liable for any violation of the Mutual's Governing Documents by any invitee, including any fine, assessment or other charge levied in connection therewith.
- G.6. Member is responsible for following the gate clearance process (http://www.lagunawoodsvillage.com/residents/resident-services and click on documents and Business Pass Application Instructions) in place to admit contractors and other invitees.
- G.7. Member's contractors and other invitees shall have business signage on vehicles and travel to and from the job site by the most direct route available and are not authorized to use Mutual recreational facilities or other amenities while they are in the Village for performance of work in connection with the Property.
- G.8. Parking of contractors or other invitees' vehicles is prohibited in covered resident parking, open resident spaces, handicapped spaces or fire lanes. Contractors or other invitees must park on the street. To the extent possible contractors' or other invitees' vehicles should be limited in number.
- G.9. Must obtain an approved Mutual Consent application within 180 days or 6 months of the variance approval before it is expired.

- G.10. Member(s) of the Property must sign and submit to the Mutual, c/o VMS, Inc., at the Division office located in the Laguna Woods Village Community Center, an executed and notarized "Recordable Common Area Exclusive Use Revocable License" for a proposed improvement that would utilize any portion of the Mutual's Common Area. Prior to the issuance of a Mutual Consent for Manor Alterations, that "Recordable Exclusive Use of Common Area Revocable License" must be filed with the Orange County Clerk/Recorder.
- G.11. A City of Laguna Woods permit may be required, which may include the requirement to obtain clearance from the South Coast Air Quality Management District (Asbestos Hot Line at (909) 396-2336). Prior to the issuance of a City of Laguna Woods permit an applicant must present the approprite Mutual Consent issued by Manor Alterations to the City. Please complete this step with Manor Alterations prior to submitting an application to the City. Once the City issues a Building Permit, you must submit a copy of the permit with the permit number to Manor Alterations. The City permit must be finalized within the prescribed timeframe, and a copy of the final permit must be submitted to the Division within two weeks.
- G.12. Prior to the issuance of a Mutual Consent for Alterations, a complete set of unit specific plans prepared by a licensed architect or structural engineer depicting the proposed improvement must be submitted to the Division office located in the Laguna Woods Village Community Center. The plans must depict any required structural modifications ensuring the structural integrity of the building is maintained upon completion of the proposed improvement.
- G.13. All improvements must be installed in accordance with the California State Building Code, and the published Mutual Architectural Alterations Standards, Policies and Guidelines. See http://www.lagunawoodsvillage.com.
- G.14. During construction, work hours established by the Mutual and the Noise Ordinance set forth in the City of Laguna Woods Municipal Code must be adhered to at all times.
- G.15. During construction, both the Mutual Consent for Alterations and the City Building Permit must be on display for public view at all times in a location approved by the Division.
- G.16. It is mandatory that no waste or materials associated with the construction be

- dumped in the Village trash bins; such waste or materials associated with the construction must be disposed of offsite by the contractor.
- G.17. A dumpster is approved for placement at the location identified by Security Staff by calling 949-580-1400. All dumpsters must conform to the Policy for Temporary Containers. Dumpsters must be ordered from the approved City of Laguna Woods waste hauler and must be maintained at all times.
- G.18. Dumpsters must be ordered from the approved City of Laguna Woods waste hauler and must be maintained at all times.
- G.19. A portable bathroom is approved for placement at the location identified by Security Staff by calling 949-580-1400.
- G.20. The Mutual Consent for Alterations expires six months after the date of Notice of Approval issued by Manor Alterations, unless an application is submitted with fees and approved by the Division for an extension. Only one extension for a maximum of an additional six months may be granted.
- G.21. Violations of the forgoing conditions or the Mutual's Governing Documents (See http://www.lagunawoodsvillage.com), including, but not limited to, unpaid assessments, work outside the approved plans, excessive noise, illegal dumping, or working after hours, will result in disciplinary action, which could result in a stop work notice, loss of privileges and/or severe fines to the Member. Such fines left unpaid will result in forfeiture of a portion or all of the Conformance Deposit required above or other legal remedy.
- G.22. Member shall indemnify, defend and hold harmless Third Laguna Hills Mutual and its officers, directors, committee Members and agents from and against any and all claims, demands, costs, fines, judgments, settlements and any other costs, expenses, amounts and liabilities arising from Member's improvements and installation, construction, design and maintenance of same.

ATTACHMENT 6
DRAFT RESOLUTION



RESOLUTION 03-24-XX

Variance Request

WHEREAS, Member located at 5367-C Algarrobo, a La Princesa style manor, requests Architectural Control and Standards Committee approval of a variance to replace window with sliding glass door and paver patio on Common Area; and

WHEREAS, a Neighborhood Awareness Notice was sent to Members of affected units notifying them that an application to make an alteration to a neighboring unit had been made and that comments or objections could be made in writing to the Architectural Control and Standards Committee or in person at the Architectural Control and Standards Committee Meeting on July 8, 2024; and

WHEREAS, the Architectural Control and Standards Committee reviewed the variance and moved for approval of the variance to replace window with sliding glass door and paver patio on Common Area;

NOW THEREFORE BE IT RESOLVED, on July 16, 2024, the Third Laguna Hills Mutual Board hereby approves the request to replace window with sliding glass door and paver patio on Common Area; and

RESOLVED FURTHER, all costs for maintenance, repair, renovation, replacement or removal of the improvement, present and future, are the responsibility of the Property's Member at 5367-C Algarrobo and all future Mutual Members at 5367-C Algarrobo; and

RESOLVED FURTHER, that the officers and agents of this Corporation are hereby authorized on behalf of the Corporation to carry out the purpose of this resolution.



STAFF REPORT

DATE: July 8, 2024

FOR: Architectural Control and Standards Committee SUBJECT: Revision to Standard 18: Gutters and Downspouts

RECOMMENDATION

Staff recommends that the Third Architectural Control and Standards Committee (ACSC) endorse the revised Standard 18: Gutters and Downspouts.

BACKGROUND

The ACSC initiated a review of the current Standard 18: Gutters and Downspouts (Attachment 1) and proposed revisions to the Standard intended to bring it up to current industry standards and improved designs. Standard 18 was last enacted in December 2023, via Resolution 03-23-144 (Attachment 2).

DISCUSSION

The suggested modifications to this standard are recommended in order to update design and installation guidelines which will allow for better functionality, maintenance improvements and proper building / site drainage.

FINANCIAL ANALYSIS

There is no financial impact to the mutual for the recommended action.

Prepared By: Alan Grimshaw, Manor Alterations Manager

Reviewed By: Baltazar Mejia, Maintenance & Construction Assistant Director

Gavin Fogg, Manor Alterations Supervisor

ATTACHMENT(S)

Attachment 1 – Current Standard 18: Gutters and Downspouts

Attachment 2 – Current Resolution 03-23-144

Attachment 3 – Redlined Revised Standard 18: Gutters and Downspouts

Attachment 4 – Final Draft Standard 18: Gutters and Downspouts

Attachment 5 – Proposed Resolution 03-24-XX



STANDARD 18: GUTTERS & DOWNSPOUTS

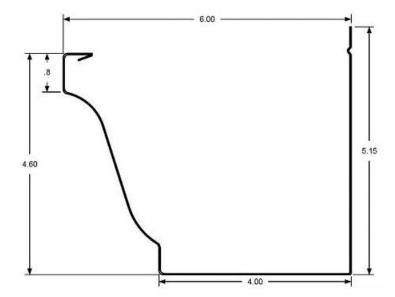
OCTOBER 1981
REVISED APRIL 1996 RESOLUTION M3-96-28
GENERAL REQUIREMENTS REVISED APRIL 2011, RESOLUTION 03-11-49
GENERAL REQUIREMENTS REVISED JANUARY 2018, RESOLUTION 03-18-12
REVISED JUNE 2018, RESOLUTION 03-18-91
REVISED DECEMBER 2023, RESOLUTION 03-23-144

1.0 GENERAL REQUIREMENTS

SEE STANDARD 1: GENERAL REQUIREMENTS

2.0 APPLICATIONS

- 2.1 All gutters shall have a slope of no less than 1/8-inch per foot along their entire run length unless approved by Manor Alterations.
- 2.2 Downspouts shall be installed at intervals appropriate for its installation in compliance with The Sheet Metal and Air Conditioning Contractors' National Association (SMACNA). No downspout may be installed that will drain into an area that will effect surface drainage in an adverse way.
- 2.3 Installations to roof systems where hangers penetrate or may harm the roofing material in any way are prohibited.
- 2.4 All gutters are to be 6-inches wide as measured across the top. Gutters are to be made of aluminum with a minimum gauge of .027. Vinyl coated aluminum is permitted. Copper and steel gutters or downspouts are not permitted.



- 2.5 All downspouts to be sized appropriately for the area that is being drained and must match the color of existing guttering.
- 2.6 Termination of a downspout shall not allow water flowing out of a downspout to flow back towards the building. A combination of downspout and splash blocks may be used to achieve positive drainage away from building.
- **2.7** Downspouts that terminate directly into a drain inlet must provide a 1-inch air gap at point of transition.
- 2.8 Gutters and leaf guards are required in order to assist in substantially reducing maintenance costs; prevent pest infestations and breeding sites; provide fire protection from flying embers; and prevent obstructions.
- **2.9** Gutters and downspouts will be of the same color to match the surface they are attached to.
- 2.10 Alteration aluminum gutters and downspouts are not to be connected to original steel gutters and downspouts. If the alteration gutter system must be connected to an original steel gutter system, the Member is responsible for replacing the original steel gutter system with new aluminum that matches the original style and color.
- **2.11** Gutters attached to the Mutual owned fascia are required to be attached using hidden hangers and be spaced at a minimum of 30-inches. Smooth striated and spiral spikes are prohibited.
- 2.12 All penetrations must be properly sealed, Exposed wood must be primed and painted to match the existing paint of the building. Member will be responsible for all damages to roof or fascia.



RESOLUTION 03-23-144

STANDARD 18: GUTTERS AND DOWNSPOUTS

WHEREAS, the Architectural Control and Standards Committee recognizes the need to amend Standards and create new Standards as necessary; and

WHEREAS, the Architectural Control and Standards Committee recognizes the need to revise Standard 18: Gutters and Downspouts;

NOW THEREFORE BE IT RESOLVED, December 19, 2023, that the Board of Directors of this Corporation hereby adopts Standard 18: Gutters and Downspouts as attached to the official meeting minutes; and

RESOLVED FURTHER, that Resolution 03-18-91 adopted June 19, 2018, is hereby superseded in its entirety and no longer in effect; and

RESOLVED FURTHER; that the officers and agents of this Corporation are hereby authorized on behalf of the Corporation to carry out this resolution as written.



STANDARD 18: GUTTERS & DOWNSPOUTS

OCTOBER 1981
REVISED APRIL 1996 RESOLUTION M3-96-28
GENERAL REQUIREMENTS REVISED APRIL 2011, RESOLUTION 03-11-49
GENERAL REQUIREMENTS REVISED JANUARY 2018, RESOLUTION 03-18-12
REVISED JUNE 2018, RESOLUTION 03-18-91
REVISED DECEMBER 2023, RESOLUTION 03-23-144
REVISED [DATE], RESOLUTION 03-24-XX

1.0 GENERAL REQUIREMENTS

See Standard 1: General Requirements EE STANDARD 1: GENERAL REQUIREMENTS

2.0 **DEFINITIONS**

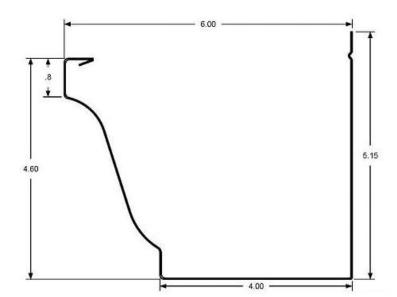
- 2.1 Seamless gutters: A seamless gutter is a single piece of gutter formed on the jobsite to match the exact measurement of a particular job. Seamless gutters can be run in lengths up to 100 feet.
- 2.2 Hidden gutter hangers: A hidden gutter hanger is designed to clip under the gutter hem and screwed to the facia board from inside the gutter.
- 2.3 Spike and ferrule hangers: A spike is a long nail that penetrates the front of a gutter and is directed to the back of the gutter through a ferrule or tube.
- **2.4** Fascia: A finished wooden board or other flat piece of material such that covers the end of the roof rafters.
- 2.5 Splash block: A device manufactured from concrete of plastic that works to channel water away from the building foundation, positioned directly under a downspout.

2.03.0 APPLICATIONS

- 3.1 All gutter installations are to be seamless.
- 2.13.2 All gutters shall have a slope of no less than 1/8-inch per foot along their entire run length but no more than ½-inch in 40 lineal feet. Gutters and Agenda Item #10a

- downspouts shall be installed so that water does not pool at any point.

 unless approved by Manor Alterations.
- <u>3.3</u> Downspouts shall be installed at intervals appropriate for its installation in compliance with The Sheet Metal and Air Conditioning Contractors' National Association (SMACNA).
 - A. In no case shall downspout spacing exceed 40 lineal feet.
 - 2.2B. No downspout may be installed that will drain into an area that will effect surface drainage in an adverse way.
- 2.33.4 All gutter linstallations that penetrate the to-roof systems where hangers penetrate or may harm the roofing material in any way are prohibited.
- 2.43.5 All gutters are to be 6-inches wide as measured across the top. Gutters are to be made of aluminum with a minimum gauge of .027. Vinyl coated aluminum is permitted. Copper and steel gutters or downspouts are not permitted.



- A. Exception: In patio cover installations where a 'rafter bracket' is used, gutter width can be modified to 5 inches to accommodate 'rafter bracket'. See Standard 22: Patio & Balcony Covers Aluminum and Vinyl.
- **2.53.6** All downspouts to be sized appropriately for the area that is being drained and must match the color of existing guttering.
- 2.63.7 Termination of a downspout shall not allow water flowing out of a downspout to flow back towards the building. A combination of downspout and splash blocks may be used to achieve positive drainage away from building.
- 2.73.8 Downspouts that terminate directly into a drain inlet must provide a 1-inch air gap at point of transition.
- 2.83.9 Gutters and leaf guards are required in order to assist in substantially reducing maintenance costs; prevent pest infestations and breeding sites; provide fire protection from flying embers; and prevent obstructions.
- 2.93.10 Gutters and downspouts will be of the same color to match the surface

they are attached to.

- 2.103.11 Alteration aluminum gutters and downspouts are not to be connected to original steel gutters and downspouts. If the alteration gutter system must be connected to an original steel gutter system, the mMember is responsible for replacing the original steel gutter system with new aluminum that matches the original style and color.
- 2.113.12 Gutters attached to the mMutual owned fascia are required to be attached using hidden gutter hangers and be spaced at a minimum of 30-inches. Spike and ferrule hangers Smooth striated and spiral spikes are prohibited.
- 2.123.13 All penetrations must be properly sealed, eExposed wood must be primed and painted to match the existing paint of the building. Member will be responsible for all damages to roof or fascia.



STANDARD 18: GUTTERS & DOWNSPOUTS

OCTOBER 1981
REVISED APRIL 1996 RESOLUTION M3-96-28
GENERAL REQUIREMENTS REVISED APRIL 2011, RESOLUTION 03-11-49
GENERAL REQUIREMENTS REVISED JANUARY 2018, RESOLUTION 03-18-12
REVISED JUNE 2018, RESOLUTION 03-18-91
REVISED DECEMBER 2023, RESOLUTION 03-23-144
REVISED [DATE], RESOLUTION 03-24-XX

1.0 GENERAL REQUIREMENTS

See Standard 1: General Requirements

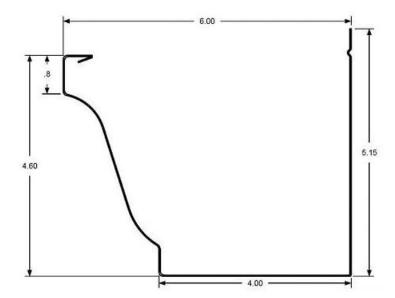
2.0 <u>DEFINITIONS</u>

- 2.1 Seamless gutters: A seamless gutter is a single piece of gutter formed on the jobsite to match the exact measurement of a particular job. Seamless gutters can be run in lengths up to 100 feet.
- 2.2 Hidden gutter hangers: A hidden gutter hanger is designed to clip under the gutter hem and screwed to the facia board from inside the gutter.
- 2.3 Spike and ferrule hangers: A spike is a long nail that penetrates the front of a gutter and is directed to the back of the gutter through a ferrule or tube.
- **2.4** Fascia: A finished wooden board or other flat piece of material such that covers the end of the roof rafters.
- 2.5 Splash block: A device manufactured from concrete of plastic that works to channel water away from the building foundation, positioned directly under a downspout.

3.0 APPLICATIONS

- **3.1** All gutter installations are to be seamless.
- 3.2 All gutters shall have a slope of no less than 1/8-inch per foot along their entire run length but no more than ½-inch in 40 lineal feet. Gutters and downspouts shall be installed so that water does not pool at any point.

- 3.3 Downspouts shall be installed at intervals appropriate for its installation in compliance with The Sheet Metal and Air Conditioning Contractors' National Association (SMACNA).
 - A. In no case shall downspout spacing exceed 40 lineal feet.
 - B. No downspout may be installed that will drain into an area that will effect surface drainage in an adverse way.
- **3.4** All gutter installations that penetrate the roof systems in any way are prohibited.
- 3.5 All gutters are to be 6-inches wide as measured across the top. Gutters are to be made of aluminum with a minimum gauge of .027. Vinyl coated aluminum is permitted. Copper and steel gutters or downspouts are not permitted.



- A. Exception: In patio cover installations where a 'rafter bracket' is used, gutter width can be modified to 5 inches to accommodate 'rafter bracket'. See Standard 22: Patio & Balcony Covers Aluminum and Vinyl.
- 3.6 All downspouts to be sized appropriately for the area that is being drained and must match the color of existing guttering.
- 3.7 Termination of a downspout shall not allow water flowing out of a downspout to flow back towards the building. A combination of downspout and splash blocks may be used to achieve positive drainage away from building.
- 3.8 Downspouts that terminate directly into a drain inlet must provide a 1-inch air gap at point of transition.
- **3.9** Gutters and leaf guards are required in order to assist in substantially reducing maintenance costs; prevent pest infestations and breeding sites; provide fire protection from flying embers; and prevent obstructions.
- **3.10** Gutters and downspouts will be of the same color to match the surface they are attached to.

- 3.11 Alteration aluminum gutters and downspouts are not to be connected to original steel gutters and downspouts. If the alteration gutter system must be connected to an original steel gutter system, the member is responsible for replacing the original steel gutter system with new aluminum that matches the original style and color.
- **3.12** Gutters attached to the mutual owned fascia are required to be attached using hidden gutter hangers and be spaced at a minimum of 30-inches. Spike and ferrule hangers are prohibited.
- 3.13 All penetrations must be properly sealed, exposed wood must be primed and painted to match the existing paint of the building. Member will be responsible for all damages to roof or fascia.



RESOLUTION 03-24-XX REVISE STANDARD 18: GUTTERS & DOWNSPOUTS

WHEREAS, the Third Laguna Hills Mutual recognizes the need to amend standards and create new standards as necessary; and

WHEREAS, the Mutual recognized the need to revise Standard 18: Gutters and Downspouts;

NOW THEREFORE BE IT RESOLVED, [DATE], the Board of Directors of this Corporation hereby adopts revisions and amendments to Standard 18: Gutters and Downspouts as attached to the official minutes of this meeting; and

RESOLVED FURTHER, that Resolution 03-23-144 adopted December 19, 2023, is hereby superseded and canceled; and

RESOLVED FURTHER; that the officers and agents of this Corporation are hereby authorized on behalf of the Corporation to carry out this resolution.

JULY INITIAL NOTIFICATION: Should the Board endorse the proposed revisions, Staff recommends that a motion be made and seconded to accept the resolution and allow discussion to ensure that the resolution reads to the satisfaction of the Board. Staff then recommends that a Board Member postpones the resolution to the next available Board Meeting no less than 28-days from the postponement to comply with Civil Code §4360.





STAFF REPORT

DATE: July 8, 2024

FOR: Architectural Control and Standards Committee

SUBJECT: Revision to Standard 34: Windows & Window Attachments

RECOMMENDATION

Staff recommends that the Third Architectural Control and Standards Committee (ACSC) endorse the revised Standard 34: Windows & Window Attachments.

BACKGROUND

The ACSC initiated a review of the current Standard 34: Windows & Window Attachments (Attachment 1) and proposed revisions to the Standard intended to bring it up to current industry standards and improved designs. Standard 34 was last enacted in January 2019, via Resolution 03-19-09 (Attachment 2).

DISCUSSION

The suggested modifications to this standard are recommended in order to develop a more consistent architectural standard throughout the community; clarify the design criteria; update energy efficiency requirements; update window egress requirements; and clarify maintenance responsibilities.

FINANCIAL ANALYSIS

There is no financial impact to the mutual for the recommended action.

Prepared By: Alan Grimshaw, Manor Alterations Manager

Reviewed By: Baltazar Mejia, Maintenance & Construction Assistant Director

Gavin Fogg, Manor Alterations Supervisor

ATTACHMENT(S)

Attachment 1 - Current Standard 34: Windows & Window Attachments

Attachment 2 - Current Resolution 03-19-09

Attachment 3 - Redlined Revised Standard 34: Windows & Window Attachments

Attachment 4 – Final Draft Standard 34: Windows & Window Attachments

Attachment 5 – Proposed Resolution 03-24-XX



STANDARD 34: WINDOWS & WINDOW ATTACHMENTS

MAY 1996, RESOLUTION M3-96-28
SEPTEMBER 2002, RESOLUTION M3-02-47
NOVEMBER 2002, RESOLUTION M3-02-62
OCTOBER 2004, RESOLUTION 03-04-27
REVISED FEBRUARY 2006, RESOLUTION 03-06-10
REVISED SEPTEMBER 2006, RESOLUTION 03-06-41
REVISED MAY 2007, RESOLUTION 03-07-47
REVISED APRIL 2011, RESOLUTION 03-11-51
GENERAL REQUIREMENTS REVISED APRIL 2011, RESOLUTION 03-11-49
REVISED DECEMBER 2011, RESOLUTION 03-11-215
REVISED JANUARY 2019, RESOLUTION 03-19-09

1.0 GENERAL REQUIREMENTS

See Standard Section 1: General Requirements

2.0 APPLICATIONS

- 2.1 New construction window replacement is permitted only upon the approval of the Alterations Division office. Retrofit windows are permitted upon the approval of the Alterations Division office in accordance with the criteria established herein.
- 2.2 Windows may be framed with either aluminum or vinyl. Wood framed windows, and the use of other materials, are subject to the review of the Board of Directors.
- **2.3** Aluminum framed windows must match the original window frame color on the building with either a natural or bronzed anodized finish.
- **2.4** All vinyl framed windows must be white in color. Colors other than white vinyl will be reviewed by the Board of Directors.
- 2.5 Windows and sliding glass doors on the same wall of an individual manor will be replaced concurrently to ensure visual continuity in the building and surrounding area except when windows and/or sliding glass doors are obscured by patio walls or glass enclosures. At any such time that the enclosure is removed, exposing the windows and/or sliding glass doors, the Member must replace the windows and/or sliding glass doors to conform to the Mutual Standard.
- **2.6** Any existing retrofit windows in the building will set the precedent for trim size/dimensions to be utilized for new retrofit installations.



- 2.7 The top of window heights shall be at 6'-8" unless a special height is called for on the standard plan drawing.
- **2.8** Size and location of windows shall be as per standard plan drawings.
- 2.9 All retrofit windows must be certified with the City of Laguna Woods. Any retrofit window that is not properly certified is subject to permit revocation and removal at the sole cost of the manor owner.
- **2.10** Any retrofit of bedroom windows for a La Jolla-style manor must include a minimum of one (1) roll and turn style window or a casement window in order to meet building code egress regulations.

3.0 INSTALLATION REQUIREMENTS

- **3.1** All windows are required to meet building code regulations.
- 3.2 XOX windows may replace XO windows, and vice versa. Fixed panels may replace sliding panels, and sliding panels may replace fixed panels.
- 3.3 XO windows may be converted to picture windows, and vice versa, provided the height and width of the opening remain the same and egress is not compromised.
- 3.4 Windows may be converted to sliding glass doors, and vice versa, provided that 1) the area faces into a patio, atrium, or balcony, and 2) the height and width of the opening remain the same.
- 3.5 Where windows have a configuration of XO above an XO or OO in the same opening, the bottom section may be filled in using standard construction practices. The dimensions of the top section must remain the same.
- 3.6 Casement windows are not permitted where the window, when open, would protrude into an area where maintenance of property, i.e., mowing, pruning, planting, would be impeded, or where the window would protrude into a walkway or area where pedestrians walk.
- **3.7** Casement windows are permitted to be installed where egress windows in bedrooms are required due to the installation of a patio enclosure.
- 3.8 Bathroom windows covered with an original or permitted grille may remain as is during the retrofit of other windows on the same elevation, provided the existing frame is painted to match the retrofit windows.



- **3.9** Bathroom windows may remain as is during the retrofit of other windows on the same elevation when retrofitting the subject window would reduce the glass size to less than one (1) foot in any direction.
- 3.10 Retrofit louvered bathroom windows. Louvered bathroom windows may be retrofitted with other window options that fit the existing opening, a single fixed pane of glass, a double hung window, casement window, and glass blocks. Replacement windows must conform to Section 34 window standards. Plans and specifications must be submitted to the Permits Department for approval prior to installation.
- 3.11 Recessed vinyl retrofitted kitchen windows. Flanges on recessed vinyl retrofit kitchen windows shall be cut to fit the size of the window it is replacing. Metal frames around the window shall be painted to match the vinyl window frame, except for casement windows in three-story buildings. Paint must be appropriate for use on metal surfaces.
- 3.12 The total width of the perimeter frame and sash for retrofit vinyl windows shall not exceed four inches. Unless the subject window is surrounded by original wood framing, all non-casement window flanges must extend beyond any open areas between the aluminum frame and all sides in order to adequately protect against water intrusion.
- **3.13** With the exception of recessed windows, cutting of the flanges is not permitted.
- **3.14** The retrofit window frame should be constructed in a flat plane without raised or sculptured parts.
- **3.15** Windows must be properly insulated according to the manufacturer's installation instructions.
- 3.16 Retrofits of recessed windows must paint any exposed aluminum framing to match the color of the vinyl window. Garden Villa casement windows are an exception to this Standard.

4.0 TYPE OF GLASS

4.1 All glass to be clear, single light (no grids) with the following exception: single story manors may install vinyl retrofit windows and doors with grids that match the design pattern and dimension of the grids for all windows and doors on the same elevation. All glass shall be tempered as required on standard plan, except as outlined in



Section 6.0. Thermopane-type glass is required. Replacement window will correspond with Section 2.0.

- **4.2** Stained or leaded-type glass per Section 6.0.
- **4.3** Reflective tints or films applied to glass after manufacture may be applied providing it does not have a reflectivity factor of more than 15%. Documentation of such material must be on hand and approved by the Alterations Division office before such application.
- **4.4** All bathroom windows will be of opaque glass.

5.0 ATTACHMENTS

- **5.1** No window awnings permitted.
- **5.2** No storm windows or glass shields will be installed on the exterior of any window.

6.0 STAINED GLASS

- 6.1 Any application for stained, leaded, etc., types of glass must be submitted to the Permits and Inspections office for approval of design, color, and sizes.
- **6.2** All non-standard designs will be reviewed by the Board of Directors.

7.0 WROUGHT IRON GRILLES

- 7.1 All wrought iron grilles will be painted in accordance with the Mutual Paint Policy and approved color palette.
- **7.2** All grilles shall be decorative in nature and design. They will match other wrought iron, i.e., gates and fences where present.
- **7.3** Grilles shall not be placed on sliding glass doors or any other part of the unit except windows.
- **7.4** Grilles may be placed on only the first floor of any building except on those buildings where windows face into a breezeway and do not open directly into a walkway as determined by the Alterations Division office.
- **7.5** Maximum overhang of grilles shall be limited to 6" in any direction beyond window dimensions. No grille shall protrude more than 6" from the window.



7.6 Quick emergency release pins are required for fire purposes. Release pins shall be U.L. or U.B.C. approved and a smoke detector shall be utilized within the room where the grilles are installed.

8.0 GARDEN WINDOWS

- **8.1** Garden windows may be defined as planter windows, greenhouse, protruding windows, or bay windows.
- 8.2 No garden window shall extend outward from the building beyond 24". The largest horizontal or vertical dimensions of a garden window shall not exceed 8'-0" x 6'-0".
- **8.3** Garden windows shall be permitted only in dining rooms, nooks, and kitchens. Exception: any room where a window will face into a walled patio area.
- 8.4 No garden window shall be permitted where it may conceivably obstruct normal pedestrian traffic even within a walled patio area.
- 8.5 No garden window shall be permitted above the first floor of any building except on buildings where the window faces into the breezeway area.
- 8.6 A window in which an existing fire-rated assembly has been included into the building to satisfy building code requirements shall not be removed and replaced by a garden window, except where a garden window is a similarly fire-rated unit.
- **8.7** Garden window frame will meet Staff approval and this Standard.

9.0 SLIDING GLASS DOORS

9.1 In order to maintain visual consistency, sliding glass doors are subject to the Standards set forth in Section 2.0.

DIMENSIONS FOR EMERGENCY ESCAPE AND RESCUE OPENINGS

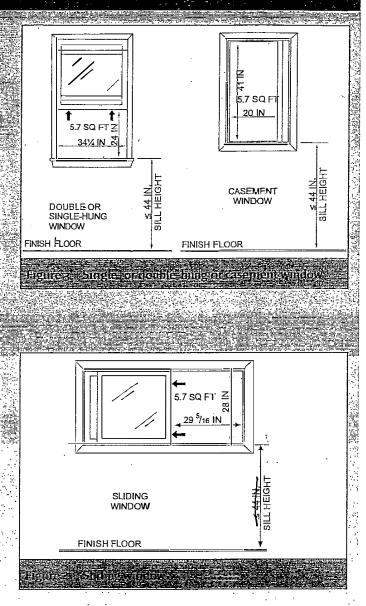
The IRC prescribes minimum opening dimensions and a maximum sill height for emergency escape and rescue openings to effectively serve their intended purpose. The minimum opening size accommodates a fully equipped fire lighter or other rescuer as well as providing an adequate escape route for the occupant. The impration on sill height allows a child or adult access to the escape opening. Width and height may be any number of combinations to achieve the minimum required opening area provided the minimum net dimensions are maintained (Table 1). The emergency escape and rescue opening may be a swinging or sliding door, a window or any other device that provides the required dimensions.

Minimum net clear opening dimensions (Figures 3 and 4)
Minimum opening area - 5.7 square feet
Minimum opening width - 20 inches
Minimum opening height - 24 inches

The following combinations of width and height will provide a net clear opening of 5.7 square feet (820.8 square inches):

width (in.)		height (in.)		width (in.)		height (in.)
20	X	41		27.5	Χ	29.8
20.5	Χ	40	-	28-	X	29.3
21	Χ	39.1		28.6	Χ	28.8
21.5	Χ	38.2		29	Χ	28.3
22	Χ	3 7. 3		29.5	Χ	27 <u>.</u> 8
22.5	Χ	36.5		30	Χ	27.4
23	Χ	35.7		30.5	Χ	26.9
23.5	Х	34. 9		31	Χ	26.5
24	Χ	34.2		31.5	Χ	26.1
24.5	Χ	33.5		32	X.	25.7
25	Χ	32.8		32.5	Χ	25.3
25 <i>.</i> 5	Χ	32.2		33	Χ	24.9
26	Χ	31.6		33.5	Χ	24.5
26.5	Χ	31		34 ·	Χ	24.1
27	Χ	30.4		34.5	Χ	24

Maximum sill height above floor (Figures 3 to 5)
Maximum sill height - 44 inches



RESOLUTION 03-19-09 REVISE ALTERATION STANDARD 34: WINDOW AND WINDOW ATTACHMENTS

WHEREAS, the Architectural Controls and Standards Committee recognizes the need to amend Alteration Standards and create new Alteration Standards as necessary; and

WHEREAS, the Architectural Control and Standard Committee recognizes the need to revise Alteration Standard 34: Windows and Window Attachments.

NOW THEREFORE BE IT RESOLVED, January 15, 2019, that the Board of Directors of this Corporation hereby introduces Alteration Standard 34: Windows and Window Attachments as attached to the official meeting minutes;

RESOLVED FURTHER, that Resolution 03-11-215 adopted December, 2011, is hereby superseded in its entirety and no longer in effect;

RESOLVED FURTHER; that the officers and agents of this Corporation are hereby authorized on behalf of the Corporation to carry out this resolution as written.



STANDARD 34: WINDOWS & WINDOW ATTACHMENTS

MAY 1996, RESOLUTION M3-96-28

SEPTEMBER 2002, RESOLUTION M3-02-47
NOVEMBER 2002, RESOLUTION M3-02-62
OCTOBER 2004, RESOLUTION 03-04-27
REVISED FEBRUARY 2006, RESOLUTION 03-06-10
REVISED SEPTEMBER 2006, RESOLUTION 03-06-41
REVISED MAY 2007, RESOLUTION 03-07-47
REVISED APRIL 2011, RESOLUTION 03-11-51
GENERAL REQUIREMENTS REVISED APRIL 2011, RESOLUTION 03-11-49
REVISED DECEMBER 2011, RESOLUTION 03-11-215
REVISED JANUARY 2019, RESOLUTION 03-19-09
REVISED [DATE], RESOLUTION 03-24-XX

1.0 GENERAL REQUIREMENTS

See Standard Section 1: General Requirements EE STANDARD 1: GENERAL REQUIREMENTS

2.0 **DEFINITIONS**

- 2.1 New Construction Window A window, where both window frame and window are installed at a new location.
- <u>2.2 Retrofit Window A new window and frame is installed in an existing framed window opening.</u>
- 2.3 Egress Window An existing or new replacement window that is properly sized to meet current building code emergency exiting requirements. See Detail Section 10.0
- 2.4 Window Operation XO
 - X: Designates operable glass portion of a window
 - O: Designates fixed glass portion of a window
- 2.5 Window Types See Detail Section 9.0
- 2.6 Vinyl Window Window framing and surrounding components are made of vinyl with the primary ingredient being PVC (Poly-Vinyl Chloride)

2.7 Composite Windows – Window framing and surrounding component are made with several different materials combined together to form a strong singular composite material.

3.0 MATERIALS & FINISHES

- 3.1 New construction or retrofit windows shall be vinyl, composite or aluminum type windows. Other materials are subject to review by the ACSC (Architectural Control and Standards Committee)
- 3.2 Finish colors to be white or black. Other colors are subject to review and approval by the ACSC.
 - A. All windows / frames along any one given elevation are to match in color.

4.0 DESIGN CRITERIA

- 4.1 XOX windows may replace XO windows and vice versa, (i.e. fixed panels may replace sliding panels and sliding panels may replace fixed panels).
- 4.2 XO windows may be converted to a picture window and vice versa.
 - A. The height and width of the opening must remain the same
 - B. Egress requirements cannot be compromised.
- 4.3 Where window styles have an XO above an XO or OO window below, the window section below may be filled in to match existing interior and exterior finishes.
 - A. The dimensions of the top window section must remain the same.
- 4.4 All windows and sliding glass doors along any one elevation or wall to be replaced with matching styles and at the same time to ensure architectural integrity along said elevation or wall.
- 4.5 Exterior window trim or flange shall not exceed 4" in width and be on a flat plane with the wall surface.
- **4.6** Window Accessories / Attachments that are **not** allowed:
 - A. Awnings
 - B. Storm Windows/ Glass Shields
 - C. Exterior Shutters
 - D. Wrought Iron Grilles

E. Planter Boxes

5.0 GLAZING

- <u>5.1 Title 24 / Energy efficient requirements Subject to current building codes:</u>
 - A. Tempered
 - B. Dual glazing
 - C. Meet low-e2 standards (thin coating minimizing the amount of infrared and ultraviolet light that comes through glass)
 - D. U factor of 0.30 (rates how fast heat is gained or lost through a window)
 - E. Energy Star recommended
- 5.2 Stained glass window design, specifications and locations are subject to review and approval by the ACSC.
- 5.3 Reflective tints or films applied to glass after manufacture is permitted provided the reflectivity factor does not exceed 15%. Verification documentation required at Mutual Consent Application.

6.0 GARDEN WINDOWS

- 6.1 Included in this classification: Greenhouse window, planter window, bay window.
- **6.2** All garden type windows may be subject to review and approval by the ACSC.
- 6.3 A garden type window shall not extend farther out from the face of the building by more than 24 inches.
 - A. Maximum horizontal dimension 8 feet
 - B. Maximum vertical dimension 6 feet.
- 6.4 A garden type window shall be permitted in the following areas:
 - A. Kitchen
 - B. Breakfast nook
 - C. Dining room
 - D. A window location that projects into an enclosed patio area.
- **6.5** A garden type window is not allowed in the following conditions:

- A. Where projection impedes a pedestrian walkway
- B. Above the first floor UNLESS it would project into an existing breezeway.
- 6.6 A garden type window must not compromise the fire rating of the wall that it is installed in.

2.07.0 APPLICATIONS

- 7.1 New construction window replacement is permitted only upon the approval of the Alterations Division office. Retrofit windows are permitted upon the approval of the Alterations Division office in accordance with the criteria established herein. All windows are to comply with current building codes.
- 7.2 A scaled floorplan showing all new or retrofit locations is required.
 - A. All retrofit bedroom window installations must meet minimum egress requirements. See Section 10
- 7.3 Top of window heights shall be at 6'-8" (6 feet 8 inches). Any variation is subject to review and approval by the ACSC.
- 7.4 Size of retrofit windows to be as large as possible with in an existing opening.
 - A. All new or retrofit windows in a bedroom shall comply with minimum egress requirements as dictated by current building codes. See Section 10.0 reference.
- **7.5** Casement windows are not permitted where:
 - A. The opening swings into an area where regular building / landscaping maintenance is required.
 - B. The opening swings into a pedestrian walkway.

2.1

- 2.2 Windows may be framed with either aluminum or vinyl. Wood framed windows, and the use of other materials, are subject to the review of the Board of Directors.
- 2.3 Aluminum framed windows must match the original window frame color on the building with either a natural or bronzed anodized finish.
- 2.4 All vinyl framed windows must be white in color. Colors other than white vinyl-will be reviewed by the Board of Directors.
- 2.5 Windows and sliding glass doors on the same wall of an individual manor will be replaced concurrently to ensure visual continuity in the building and surrounding area except when windows and/or sliding glass doors are Agenda Item #10b

- obscured by patio walls or glass enclosures. At any such time that the enclosure is removed, exposing the windows and/or sliding glass doors, the Member must replace the windows and/or sliding glass doors to conform to the Mutual Standard.
- 2.6 Any existing retrofit windows in the building will set the precedent for trimsize/dimensions to be utilized for new retrofit installations.
- 2.7 The top of window heights shall be at 6'-8" unless a special height is called for on the standard plan drawing.
- 2.8 Size and location of windows shall be as per standard plan drawings
- 2.9 All retrofit windows must be certified with the City of Laguna Woods. Any retrofit window that is not properly certified is subject to permit revocation and removal at the sole cost of the manor owner.
- 2.10 Any retrofit of bedroom windows for a La Jolla-style manor must include a minimum of one (1) roll and turn style window or a casement window in order to meet building code egress regulations.

3.08.0 MAINTENANCE INSTALLATION REQUIREMENTS

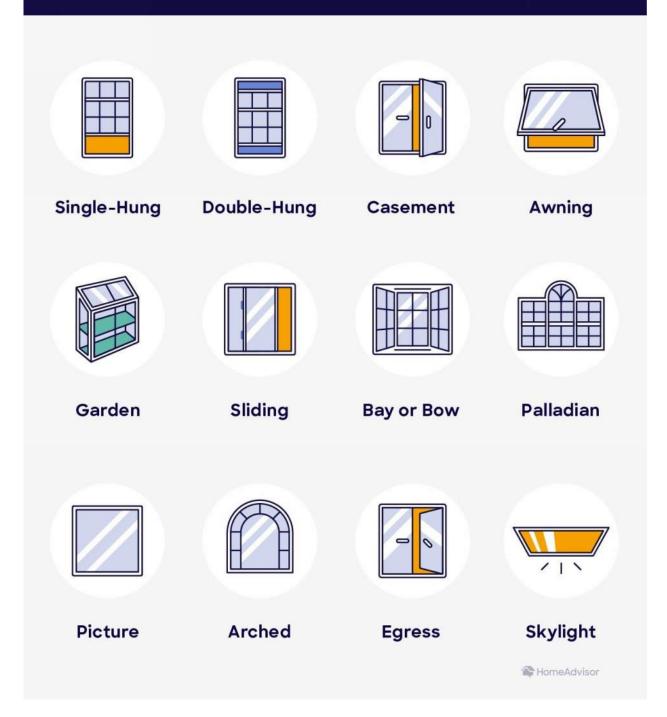
- <u>All windows are required to meet building code regulations. Member is responsible for all upkeep and maintenance of all new or replacement windows.</u>
- 8.2 If new or replacement windows fall into a state of disrepair, the mutual at its discretion may make any necessary repairs and charge the member for such repairs.

3.1

- 3.2 XOX windows may replace XO windows, and vice versa. Fixed panels may replace sliding panels, and sliding panels may replace fixed panels.
- 3.3 XO windows may be converted to picture windows, and vice versa, provided the height and width of the opening remain the same and egress is not compromised.
- 3.4 Windows may be converted to sliding glass doors, and vice versa, provided that 1) the area faces into a patio, atrium, or balcony, and 2) the height and width of the opening remain the same.
- 3.5 Where windows have a configuration of XO above an XO or OO in the same opening, the bottom section may be filled in using standard construction practices. The dimensions of the top section must remain the same.
- 3.6 Casement windows are not permitted where the window, when open, would protrude into an area where maintenance of property, i.e., mowing, pruning, planting, would be impeded, or where the window would protrude into a walkway or area where pedestrians walk.

- 3.7 Casement windows are permitted to be installed where egress windows in bedrooms are required due to the installation of a patio enclosure.
- 3.8 Bathroom windows covered with an original or permitted grille may remain as is during the retrofit of other windows on the same elevation, provided the existing frame is painted to match the retrofit windows.
- 3.9 Bathroom windows may remain as is during the retrofit of other windows on the same elevation when retrofitting the subject window would reduce the glass size to less than one (1) foot in any direction.
- 3.10 Retrofit louvered bathroom windows. Louvered bathroom windows may be retrofitted with other window options that fit the existing opening, a single fixed pane of glass, a double hung window, casement window, and glass blocks. Replacement windows must conform to Section 34 window standards. Plans and specifications must be submitted to the Permits Department for approval prior to installation.
- 3.11 Recessed vinyl retrofitted kitchen windows. Flanges on recessed vinylretrofit kitchen windows shall be cut to fit the size of the window it isreplacing. Metal frames around the window shall be painted to matchthe vinyl window frame, except for casement windows in three-storybuildings. Paint must be appropriate for use on metal surfaces.
- 3.12 The total width of the perimeter frame and sash for retrofit vinyl windows shall not exceed four inches. Unless the subject window is surrounded by original wood framing, all non-casement window flanges must extend beyond any open areas between the aluminum frame and all sides in order to adequately protect against water intrusion.
- **3.13** With the exception of recessed windows, cutting of the flanges is not permitted.
- 3.14 The retrofit window frame should be constructed in a flat plane without raised or sculptured parts.
- 3.15 Windows must be properly insulated according to the manufacturer's installation instructions.
- 3.16 Retrofits of recessed windows must paint any exposed aluminum framing to match the color of the vinyl window. Garden Villa casement windows are an exception to this Standard.
- 9.0 WINDOW STYLES (see attached) TYPE OF GLASS
- **10.0 EGRESS WINDOW GUIDELINES** (see attached)

12 Main Types of Window Styles

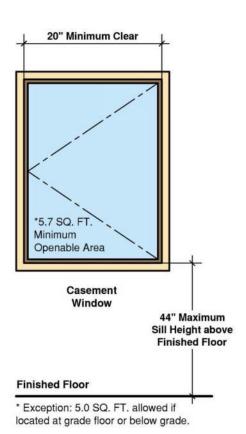


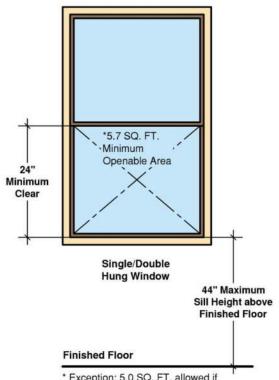
Egress Windows are required in all sleeping rooms.

Egress Window Size and Dimensions:

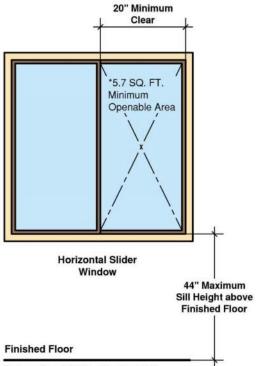
- 1. Minimum 5.7 square feet of net clear opening area.
- 2. Minimum 24 inches of net clear height opening.
- 3. Minimum 20 inches of net clear width opening.

NOTE: THESE REMAIN SUBJECT TO CURRENT BUILDING CODES.





* Exception: 5.0 SQ. FT. allowed if located at grade floor or below grade.



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4.0

- 4.1 All glass to be clear, single light (no grids) with the following exception: single story manors may install vinyl retrofit windows and doors with grids that match the design pattern and dimension of the grids for all windows and doors on the same elevation. All glass shall be tempered as required on standard plan, except as outlined in Section 6.0. Thermopane-type glass is required. Replacement window will-correspond with Section 2.0.
- **4.2** Stained or leaded-type glass per Section 6.0.
- 4.3 Reflective tints or films applied to glass after manufacture may be applied providing it does not have a reflectivity factor of more than 15%.

 Documentation of such material must be on hand and approved by the Alterations Division office before such application.
- **4.4** All bathroom windows will be of opaque glass.

5.0 ATTACHMENTS

- **5.1** No window awnings permitted.
- 5.2 No storm windows or glass shields will be installed on the exterior of any window

6.0 STAINED GLASS

- 6.1 Any application for stained, leaded, etc., types of glass must be submitted to the Permits and Inspections office for approval of design, color, and sizes.
- 6.2 All non-standard designs will be reviewed by the Board of Directors.

7.0 WROUGHT IRON GRILLES

- 7.1 All wrought iron grilles will be painted in accordance with the Mutual Paint Policy and approved color palette.
- 7.2 All grilles shall be decorative in nature and design. They will match other wrought iron, i.e., gates and fences where present.
- **7.3** Grilles shall not be placed on sliding glass doors or any other part of the unit except windows.
- 7.4 Grilles may be placed on only the first floor of any building except on those buildings where windows face into a breezeway and do not open-directly into a walkway as determined by the Alterations Division office.
- 7.5 Maximum overhang of grilles shall be limited to 6" in any direction beyond window dimensions. No grille shall protrude more than 6" from the window.
- 7.6 Quick emergency release pins are required for fire purposes. Release pins shall be U.L. or U.B.C. approved and a smoke detector shall be utilized within the room where the grilles are installed.

8.0 GARDEN WINDOWS

- **8.1** Garden windows may be defined as planter windows, greenhouse, protruding windows, or bay windows.
- 8.2 No garden window shall extend outward from the building beyond 24".

 The largest horizontal or vertical dimensions of a garden window shall not exceed 8'-0" x 6'-0".
- **8.3** Garden windows shall be permitted only in dining rooms, nooks, and kitchens. Exception: any room where a window will face into a walled patio area.
- 8.4 No garden window shall be permitted where it may conceivably obstruct normal pedestrian traffic even within a walled patio area.
- 8.5 No garden window shall be permitted above the first floor of any building except on buildings where the window faces into the breezeway area.
- 8.6 A window in which an existing fire-rated assembly has been included into the building to satisfy building code requirements shall not be removed and replaced by a garden window, except where a garden window is a similarly fire-rated unit.
- 8.7 Garden window frame will meet Staff approval and this Standard.

9.0 SLIDING GLASS DOORS

9.1 In order to maintain visual consistency, sliding glass doors are subject to the Standards set forth in Section 2.0.



STANDARD 34: WINDOWS & WINDOW ATTACHMENTS

MAY 1996, RESOLUTION M3-96-28

SEPTEMBER 2002, RESOLUTION M3-02-47
NOVEMBER 2002, RESOLUTION M3-02-62
OCTOBER 2004, RESOLUTION 03-04-27
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GENERAL REQUIREMENTS REVISED APRIL 2011, RESOLUTION 03-11-49
REVISED DECEMBER 2011, RESOLUTION 03-11-215
REVISED JANUARY 2019, RESOLUTION 03-19-09
REVISED [DATE], RESOLUTION 03-24-XX

1.0 GENERAL REQUIREMENTS

See Standard Section 1: General Requirements

2.0 **DEFINITIONS**

- **2.1** New Construction Window A window, where both window frame and window are installed at a new location.
- **2.2** Retrofit Window A new window and frame is installed in an existing framed window opening.
- 2.3 Egress Window An existing or new replacement window that is properly sized to meet current building code emergency exiting requirements. See Detail Section 10.0
- 2.4 Window Operation XO
 - X: Designates operable glass portion of a window
 - O: Designates fixed glass portion of a window
- **2.5** Window Types See Detail Section 9.0
- 2.6 Vinyl Window Window framing and surrounding components are made of vinyl with the primary ingredient being PVC (Poly-Vinyl Chloride)

2.7 Composite Windows – Window framing and surrounding component are made with several different materials combined together to form a strong singular composite material.

3.0 MATERIALS & FINISHES

- 3.1 New construction or retrofit windows shall be vinyl, composite or aluminum type windows. Other materials are subject to review by the ACSC (Architectural Control and Standards Committee)
- **3.2** Finish colors to be white or black. Other colors are subject to review and approval by the ACSC.
 - A. All windows / frames along any one given elevation are to match in color.

4.0 <u>DESIGN CRITERIA</u>

- **4.1** XOX windows may replace XO windows and vice versa, (i.e. fixed panels may replace sliding panels and sliding panels may replace fixed panels).
- **4.2** XO windows may be converted to a picture window and vice versa.
 - A. The height and width of the opening must remain the same
 - B. Egress requirements cannot be compromised.
- **4.3** Where window styles have an XO above an XO or OO window below, the window section below may be filled in to match existing interior and exterior finishes.
 - A. The dimensions of the top window section must remain the same.
- 4.4 All windows and sliding glass doors along any one elevation or wall to be replaced with matching styles and at the same time to ensure architectural integrity along said elevation or wall.
- **4.5** Exterior window trim or flange shall not exceed 4" in width and be on a flat plane with the wall surface.
- **4.6** Window Accessories / Attachments that are **not** allowed:
 - A. Awnings
 - B. Storm Windows/ Glass Shields
 - C. Exterior Shutters
 - D. Wrought Iron Grilles
 - E. Planter Boxes

5.0 GLAZING

- **5.1** Title 24 / Energy efficient requirements Subject to current building codes:
 - A. Tempered
 - B. Dual glazing
 - C. Meet low-e2 standards (thin coating minimizing the amount of infrared and ultraviolet light that comes through glass)
 - D. U factor of 0.30 (rates how fast heat is gained or lost through a window)
 - E. Energy Star recommended
- 5.2 Stained glass window design, specifications and locations are subject to review and approval by the ACSC.
- 5.3 Reflective tints or films applied to glass after manufacture is permitted provided the reflectivity factor does not exceed 15%. Verification documentation required at Mutual Consent Application.

6.0 GARDEN WINDOWS

- **6.1** Included in this classification: Greenhouse window, planter window, bay window.
- **6.2** All garden type windows may be subject to review and approval by the ACSC.
- 6.3 A garden type window shall not extend farther out from the face of the building by more than 24 inches.
 - A. Maximum horizontal dimension 8 feet
 - B. Maximum vertical dimension 6 feet.
- **6.4** A garden type window shall be permitted in the following areas:
 - A. Kitchen
 - B. Breakfast nook
 - C. Dining room
 - D. A window location that projects into an enclosed patio area.
- **6.5** A garden type window is not allowed in the following conditions:
 - A. Where projection impedes a pedestrian walkway
 - B. Above the first floor UNLESS it would project into an existing

breezeway.

6.6 A garden type window must not compromise the fire rating of the wall that it is installed in.

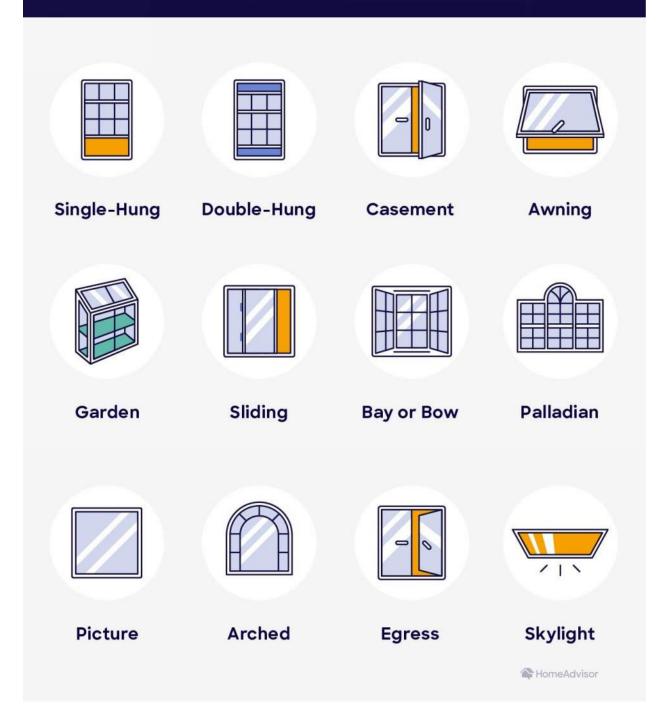
7.0 APPLICATIONS

- **7.1** All windows are to comply with current building codes.
- **7.2** A scaled floorplan showing all new or retrofit locations is required.
 - A. All retrofit bedroom window installations must meet minimum egress requirements. See Section 10
- **7.3** Top of window heights shall be at 6'-8" (6 feet 8 inches). Any variation is subject to review and approval by the ACSC.
- **7.4** Size of retrofit windows to be as large as possible with in an existing opening.
 - A. All new or retrofit windows in a bedroom shall comply with minimum egress requirements as dictated by current building codes. See Section 10.0 reference.
- **7.5** Casement windows are not permitted where:
 - A. The opening swings into an area where regular building / landscaping maintenance is required.
 - B. The opening swings into a pedestrian walkway.

8.0 MAINTENANCE

- **8.1** Member is responsible for all upkeep and maintenance of all new or replacement windows.
- 8.2 If new or replacement windows fall into a state of disrepair, the mutual at its discretion may make any necessary repairs and charge the member for such repairs.
- 9.0 WINDOW STYLES (see attached)
- 10.0 EGRESS WINDOW GUIDELINES (see attached)

12 Main Types of Window Styles



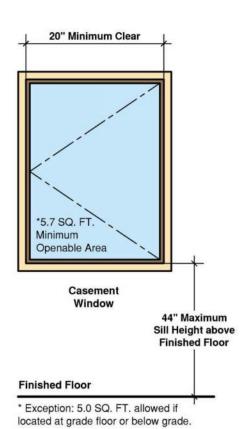
SECTION 10.0 EGRESS WINDOW GUIDELINES

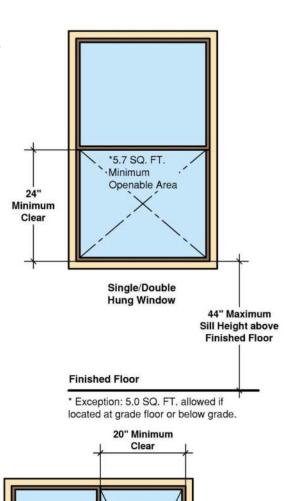
Egress Windows are required in all sleeping rooms.

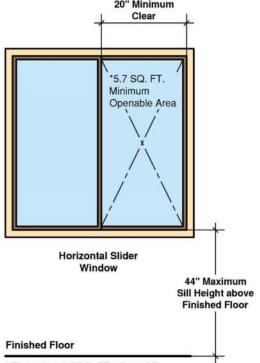
Egress Window Size and Dimensions:

- 1. Minimum 5.7 square feet of net clear opening area.
- 2. Minimum 24 inches of net clear height opening.
- 3. Minimum 20 inches of net clear width opening.

NOTE: THESE REMAIN SUBJECT TO CURRENT BUILDING CODES.







^{*} Exception: 5.0 SQ. FT. allowed if located at grade floor or below grade.



RESOLUTION 03-24-XX REVISE STANDARD 34: WINDOWS AND WINDOW ATTACHMENTS

WHEREAS, the Third Laguna Hills Mutual recognizes the need to amend standards and create new standards as necessary; and

WHEREAS, the Mutual recognized the need to revise Standard 34: Windows and Window Attachments:

NOW THEREFORE BE IT RESOLVED, [DATE], the Board of Directors of this Corporation hereby adopts revisions and amendments to Standard 34: Windows and Window Attachments as attached to the official minutes of this meeting; and

RESOLVED FURTHER, that Resolution 03-19-09 adopted January 15, 2019, is hereby superseded and canceled; and

RESOLVED FURTHER; that the officers and agents of this Corporation are hereby authorized on behalf of the Corporation to carry out this resolution.

JULY INITIAL NOTIFICATION: Should the Board endorse the proposed revisions, Staff recommends that a motion be made and seconded to accept the resolution and allow discussion to ensure that the resolution reads to the satisfaction of the Board. Staff then recommends that a Board Member postpones the resolution to the next available Board Meeting no less than 28-days from the postponement to comply with Civil Code §4360.